

DRAFT

**ESCONDIDO RESEARCH AND TECHNOLOGY CENTER
SPECIFIC PLAN**

ESCONDIDO, CALIFORNIA

DEC 14 2005

**Planning Division Case Number 2001-01-SPA
Adopted November 25, 2002**

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I. INTRODUCTION

The Escondido Research and Technology Center Specific Plan amends and supersedes the Quail Hills Specific Plan which was adopted by the City of Escondido in January, 1988, by adoption of Resolution 88-126. Its contents include sections on Plan Conformance with State law and the City of Escondido General Plan, Comprehensive Policies addressing development within the plan area, Specific Development Standards and Regulations for individual areas of the plan, processing including implementation, and the adopted process for amendments to the specific plan.

A. PURPOSE

The Escondido Research and Technology Center Specific Plan provides for the orderly and coordinated development of the property consistent with Section 65451 of the California Government Code and Article 18 of the City of Escondido Zoning Ordinance. This specific plan will act as a bridge between the policies of the General Plan and individual projects within the specific plan area. It is a comprehensive zoning document, which establishes detailed regulatory controls and implementation programs. The use of a tailor-made site-specific ordinance is necessary to regulate development of the specialized industrial and office uses, which are included within the Escondido Research and Technology Center. This specific plan will act as a mechanism to ensure overall coordination in the planning and execution of separately owned properties.

This specific plan consists of text and exhibits. The exhibits include maps, which address land uses, individual Planning Areas and vehicular and pedestrian circulation. The text further describes permitted uses, development regulations, design guidelines and implementation of the project.

The Escondido Research and Technology Center Specific Plan implements the General Plan, the City of Escondido Zoning Ordinances, and provides guidelines for development of all aspects of the property. For circumstances that are not expressly addressed within this specific plan, existing City ordinances, policies and procedures shall apply. In the event of any conflict or inconsistency between the specific plan and existing ordinance, policy and procedure, the terms and conditions of the specific plan shall govern.

B. SCOPE OF SPECIFIC PLAN

The Escondido Research and Technology Center Specific Plan supersedes and renames the Quail Hills Specific Plan. The property encompasses a total area of approximately 186 acres. JRMC Real Estate and Sempra Energy Resources have assembled approximately 171 acres within the plan area, and the balance of the plan area is owned by several individuals.

As shown on Exhibit I, the project site is located in the western portion of the City of Escondido in northern San Diego County. Interstate 15 and Route 78 provide north-south and east-west regional access to the area. The property is largely vacant, located generally south of Vineyard Avenue and north of Harmony Grove Road, between Enterprise Street and Allenwood Lane.

Exhibit 2 is a Specific Plan Map for the project. The map designates eight (8) planning areas, land uses and the circulation system for the subject project. Chapter III contains a list of uses permitted within each planning area.



PROJECT LOCATION

ESCONDIDO

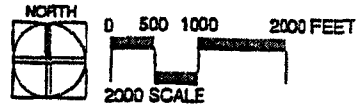
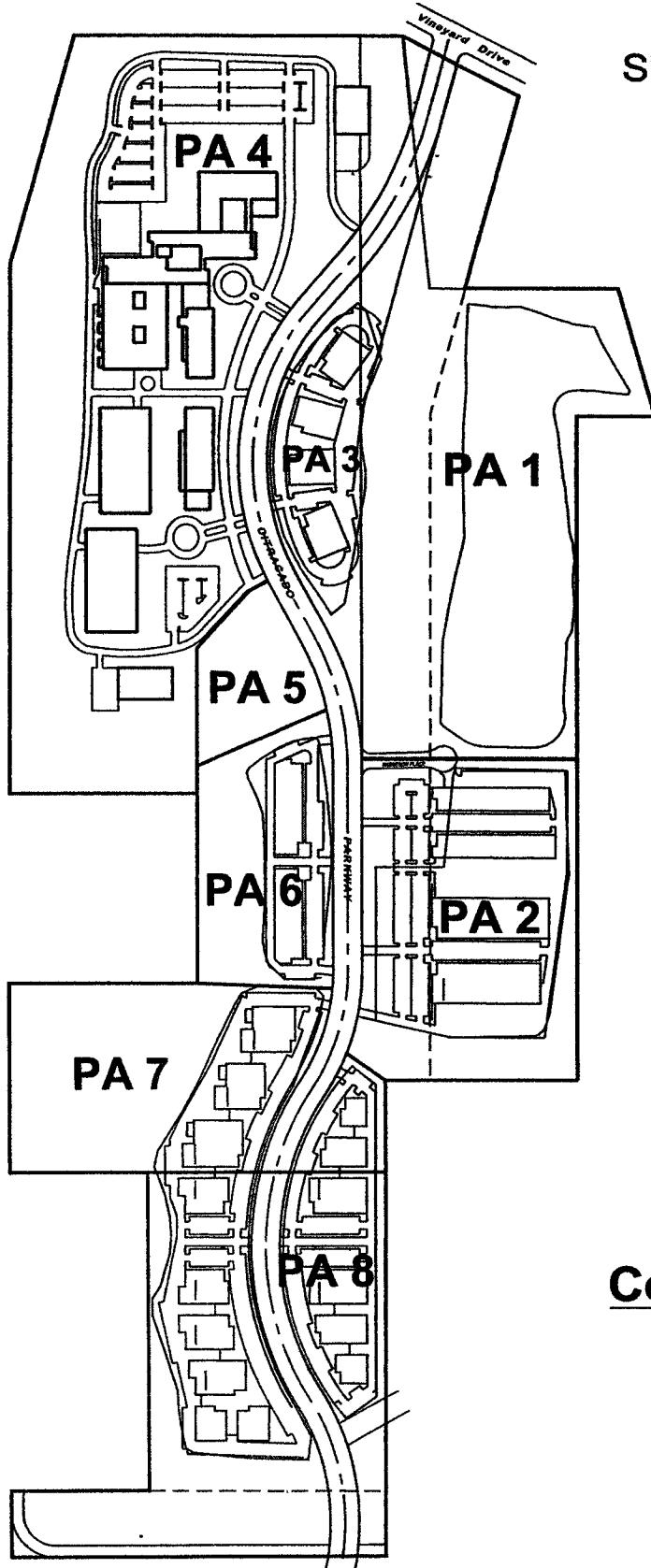
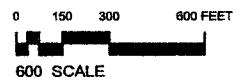


Exhibit 2
SPECIFIC PLAN MAP



Concept Site Plan



C. PHYSICAL SETTING

The Escondido Research and Technology Center Specific Planning Area is located in the western portion of the city of Escondido. Elevations on the site range from a low of approximately 630-feet to 880-feet above mean sea level. Generally the property slopes downward toward the southwest, from a high point in the mid-northern section of the plan area.

The property is essentially vacant with the exception of eight existing single family dwellings in the southwest portion of the site. Significant portions of the plan area have been disturbed by former agricultural activities, off-road vehicles and grading. A 200-foot wide electrical transmission easement with towers runs north-south through the center of the site. This easement turns westerly at the specific plan southerly boundary. Numerous other utility easements criss-cross the site.

Regional access to the project site is from SR-78 and 1-15. Local access is via the Nordahl Drive exit off SR-78, via future Citracado Parkway, and the 9th Avenue exit off 1-15 to Citracado from the southeast. Future Citracado Parkway is proposed as a "collector" roadway with the width of a "major road", and it will bisect the specific plan area traveling from north to south. Other streets in the area include Enterprise Street which serves the existing industrial park to the east, and Harmony Grove Road, which provides access from the south.

Adjacent existing uses include industrial and office uses to the north and east, vacant residential land to the northwest, and single family subdivisions to the west. Properties to the south of the specific plan, located in both the County and the City, is generally vacant, with sporadic single family homes on large lots.

Drainage on-site flows toward the lower elevations in the southern and western portions of the site. An ephemeral drainage, in which wetland vegetation exists, flows over a portion of the lower elevations in the southwest portion of the site. Other dry and ephemeral drainage courses are located within the boundaries of the site. Jurisdictional delineation of these drainages has been conducted, and permits for proposed impacts to these drainages through the U.S. Army Corps of Engineers and the California Dept. of Fish & Game will be complete prior to such impacts. In addition, assessment of impacts to the California gnatcatcher, a Federally-listed "threatened" bird species found onsite, and adequacy of proposed mitigation for such impacts, is being conducted through a Section 7 Consultation between the U.S. Army Corps and the U.S. Fish & Wildlife Service. All necessary local, state and federal permits will be in place prior to clearing of vegetation and subsequent grading of the ERTC site.

Vegetation over the site is predominantly disturbed habitat, non-native grassland and disturbed sage scrub communities. Coastal California gnatcatchers inhabit portions of the site. There is a ribbon of willow / oak riparian woodland along the creekbed in the southwestern portion of the site. The proposed project involves protection and conservation of the willow/oak woodland creekbed area, and also a significant amount of sage scrub revegetation, to be primarily located along the western residential buffer area, as part of an overall biological mitigation program.

D. SPECIFIC PLAN OBJECTIVES

The General Plan sets the guidelines for development of Escondido at buildout of the city, and as a result, Specific Plan objectives should directly relate to the guidelines articulated in the General

Plan. In order to properly guide the community through years of development decisions, implementation of general plan concepts must be addressed through various land use control mechanisms, such as this specific plan. The Escondido Research and Technology Center Specific Plan document addresses and reflects the intent of the Escondido general plan.

There are a number of general plan provisions which have provided direction for the development of the Escondido Research and Technology Center Specific Plan. The primary direction has been derived from the Land Use Element, although other element provisions have also been integrated in the specific plan.

The fundamental goal of the specific plan is to address the following key general plan provisions incorporated here as the Specific Plan Objectives:

- Concentration of a variety of office, research and development, industrial (multi-tenant, corporate and limited distribution), hospital and uses associated with a medical campus uses that serve the community.
- Enhanced economic benefits to the community, by providing increased employment opportunities and tax base.
- Creation of a first class business park through the concentration of business uses which will be comprehensively planned to ensure community compatibility, adequacy of access, parking, landscaping and other features which are characteristic of a quality development.

E. PROCESSING AND PLAN IMPLEMENTATION OBJECTIVES

The Escondido Research and Technology Center Specific Plan creates the regulatory processing and implementation framework to allow a large business park and hospital/medical campus such as the proposed project to develop. Development of the project will occur over a number of years and the life of the project will last well past completion of the last building. A number of documents will also be in place in addition to Escondido Research and Technology Center Specific Plan Amendment. These documents include the Environmental Impact Report, General Plan Amendment, Development Agreement, and Vesting Tentative Subdivision Map. Together these documents will be used to review and approve future proposed development within the Escondido Research and Technology Center Specific Plan area. A General Plan Amendment to the Circulation Element is necessary to modify the plans for Enterprise Street, and to modify the design parameters for Citracado Parkway will be requested. General Plan Amendments are also necessary to change 22 acres from Specific Plan to Estate 2 (residential up to 2 DU / AC), and to amend the current text of SPA #8. A General Plan Amendment is also necessary to include hospital/medical uses in Planning Area 4.

The process for plan implementation is discussed in Chapter V, and the following objectives established the direction for implementing the Escondido Research and Technology Center Specific Plan:

- The integrity of the specific plan document will ensure consistent, well-planned development within the plan requirements,
- Initiation of physical development on the site will be undertaken in a manner which ensures adequate public infrastructure to support uses as they transition into public use;

- Tentative Subdivision Maps and/or site plans must be approved prior to initiation of development. Any reference within this specific plan to Tentative Subdivision Maps, Tentative Maps, Tentative Parcel Maps may also refer to the equivalent Vesting Tentative Map;
- An articulated City development relationship with the Escondido Research and Technology Center Specific Plan will be supported through the Development Agreement.

II. ~~BUSINESS PARK WIDE~~ POLICIES AND STANDARDS

Chapter II provides a set of comprehensive policies and standards to govern various aspects of development within the specific plan area. These provisions implement the plan objectives contained in Chapter I. While recognizing that a project of this scale must also be adaptable to changing market conditions, the provisions of this chapter are intended to provide a hierarchical connection from the General Plan to an individual project. This section is divided into key subsections which address and provide direction for the major components of the Specific Plan. The objectives, comprehensive policies, and standards are carried out through implementation of the development standards and regulations in Chapter III.

A. LAND USE POLICIES

1. All land uses within the project boundaries will be located and designed to be compatible with uses outside and inside the specific plan. This will be accomplished through provisions outlined in this section and the Specific Development Standards section, Chapter III.
2. The location of the specific plan provides desirable access for users from the regional, city and neighborhood levels. External and internal access and circulation shall be designed to maximize efficient use of the site for the various levels of users. Major components of the access and design shall be:
 - Efficient ingress and egress from the SR-78 and 1-15 freeways.
 - Efficient ingress and egress from connecting surface streets.
 - Efficient internal circulation and driveway points to allow maximum safe access to the various businesses.
 - Functional access between individual businesses and between planning areas.
 - Segregation of access to business areas versus residential areas.
 - Visibility of the various uses and clear orientation of the access to users.
3. A variety of ~~business park~~ land uses shall be encouraged by the specific plan in order to create employment and tax bases and to provide a broad mix of office, research and industrial opportunities as well as hospital and medical services. The key component to ensuring plan integrity is a compatible variety of Planning Area permitted uses and development standards.
4. In concept and by design, the Escondido Research and Technology Center Specific Plan will prohibit unsightly, noxious, and incompatible uses, and encourage a comprehensively planned consolidation of business park uses. Performance Criteria pursuant to Escondido Zone Code Section 33-570 shall also apply within the ERTC Specific Plan; separate criteria apply to Planning Area 4. The specific plan must allow flexibility in accommodation of planning area uses in order for the development to be viable in the longer term, and to effectively respond to changing market and user

demand, within the limits set forth by the Specific Development Standards provided in Chapter III and in particular as these standards related to abutting residential areas.

5. In order for the Escondido Research and Technology Center Specific Plan uses to be comprehensively successful, the development must be prominent to users while, at the same time, easily used and visually pleasing. The regulatory provisions of this specific plan will address and ensure a balance of uses and design standards.

B. CIRCULATION POLICIES

There are numerous roadway improvements, which are directly related to the specific plan project and those which will occur as part of a larger transportation strategy. Reviewed in the broad sense, all upgrades of the circulation system serve to improve efficiency. It is the intent of this section to provide an overview of circulation system improvements that are approximate to the specific plan and show an evolution of service level enhancement. This section presents the various levels of circulation improvements in a manner that illustrates the interrelationship of these facilities in regard to the specific plan.

1. Regional Level Improvements:

These are components of a large-scale transportation improvement strategy, which is being jointly implemented by various agencies. The improvements, as they relate to the specific plan area, are concentrated at the SR78/Nordahl Avenue interchange. It is anticipated that the improvements will address the Nordahl Avenue/Mission Avenue intersection and vicinity and other required regional infrastructure as identified in the City of Escondido Five-Year Capital Improvement Program.

2. Community Level Improvements:

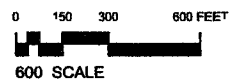
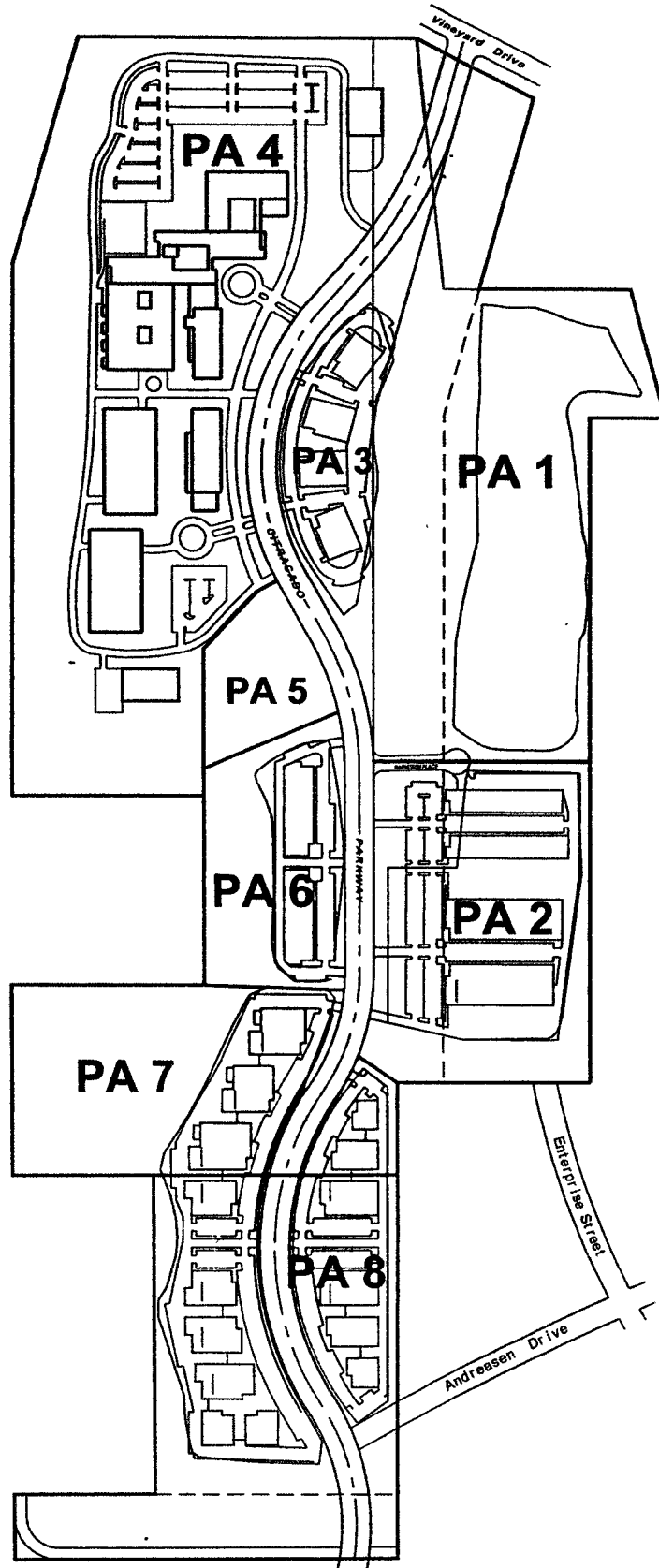
This level of circulation system improvements identifies major components of the Escondido Circulation Element of the General Plan in proximity to the specific plan.

- a. In accord with the General Plan, Citracado Parkway is designed as a modified major street serving as connection north-south through the site as shown on the ERTC vesting tentative map.
- b. Installation of a traffic signal at the intersection of Vineyard Avenue and Citracado Parkway.
- c. Bus turnouts/rail linkage and commuter seating centers as may be required by North County Transit District.
- d. Sufficient bicycle lane should be provided along Citracado Parkway to encourage this alternative mode of transportation.

3. Project Level Improvements:

These improvements are intended to enhance the circulation system in direct support of the development of the specific plan.

Exhibit 3
CIRCULATION MAP



- a. All Escondido Research and Technology Center public roadways, including Citracado Parkway, will satisfy the City of Escondido circulation and road design standards.
- b. Convenient ingress and egress driveways to each planning area within the specific plan area.
- c. Convenient access to loading areas and other internal business related features of the business park.

4. Internal Circulation Improvements:

A major component of effective project design is the provision of functional traffic circulation and access within the specific plan. The following internal circulation design concepts shall be utilized in specific plan implementation:

- a. Adequate stacking distance should be provided at primary project driveways.
- b. Adequate distances should be allowed to separate driveways from public roadway intersections.
- c. Driveways shall generally be installed in locations as set forth in the ERTC vesting tentative map. Precise locations may be adjusted as part of the site plan review process, provided however, such adjustments, if any, shall maintain where feasible the separation distances, lines of sight, cross lane traffic movement considerations, etc., that have been incorporated into the ERTC vesting tentative map design. In the event additional driveways or modifications to driveways are ultimately proposed, driveway entrances/exits should be constructed at an approximate 90-degree angle to the public roadway alignment, or as otherwise approved by the City Engineer.
- d. The internal circulation system must provide for fire and delivery truck access, vehicle and pedestrian circulation, and loading areas for all Planning Areas.
- e. Sidewalk and separate multi-use trail systems (including convenient trailhead access) should be provided within the business park, to allow for walking access to all planning areas.

C. DESIGN POLICIES

This section describes those project-wide design elements which are necessary to address various plan objectives. One of the major goals of this specific plan is to create a visual and aesthetic coherence internally and externally to the project. The design of the hospital and medical uses in Planning Area 4 may vary from the industrial buildings in other planning areas, but all architecture styles throughout the development shall be compatible.

By its inherent attributes including location, land area, and zoning, the Escondido Research and Technology Center is to become a community and regional focal point for business park users. The focus on this project requires that it meet the challenge of becoming a community and regional center with a distinct and clear identity. This will be accomplished by the following:

1. Project Design Elements

- a. The architecture shall be distinctively identifiable through form, mass and color.
- b. The architectural design shall integrate elements of landscape, lighting, signage, pedestrian and vehicular circulation and screening elements.
- c. The architecturally distinctive style shall be visually consistent throughout the project.
- d. The architectural design shall create an overall project which functions as a focal point for the community.'
- e. The architectural design shall create focal points within the project. The architectural design shall represent controlled, quality development.
- f. The architectural design of each element of the overall project shall be consistent or complimentary in style and character.

2. Project Design Features

- a. The elements of design and their composition shall exhibit visual simplicity.
- b. The elements of design and resulting architectural composition shall not include excessive decoration.
- c. The basic architectural forms shall be visually consistent or complementarily linked together with repetitive, articulated structures, site landscaping, etc.
- d. The architectural design shall exhibit predominantly surface planes of singular, distinctive texture and color.
- e. The architectural design elements which are contiguous shall be interlocked, layered and repeated to form visually integrated compositions.
- f. Freestanding buildings may be designed to allow individual character more representative of the use and company identity.
- g. Other design elements (i.e., landscaping, signage, and lighting) will be utilized to integrate freestanding buildings with the overall development.

3. Project-Wide Concepts

- a. The project's most visible, elevated exposures to SR-78 and Nordahl Avenue shall exhibit distinctive and interestingly articulated design. The composition of the project's main exterior exposures shall consist of solid building forms of simple texture and color complementing elements of site forms and landscaping.
- b. Variations in height and mass are strongly encouraged. Contrasting building heights and identifiable architectural features shall be incorporated into this portion of the project.
- c. Special care shall be taken that visual impacts of structural height and mass should be sensitive on the northern and western portions of the project, through setbacks, and earthform and landscape buffering that include a minimum 10' high berm view-obstructing berm on pads adjacent to residentially zoned properties within Planning Areas 4, 5, 6 and 7.

4. Internal Project Concepts

- a. As viewed from Citracado Parkway, planning area to planning area, and from off-site, the project will exhibit an interesting accumulation and composition of architecturally compatible building elements incorporating site forms, signage, lighting, pedestrian and vehicular circulation and landscape as elements of the overall composition.
- b. Visibility of major project components and clarity of access and circulation for public and service functions shall be thoroughly integrated into the project's internal designs.
- c. The view from Citracado Parkway for pedestrians and motorists should offer an interesting composition of building sizes, locations and articulation relative to the roadway.

D. PLANNING AREAS

The Escondido Research and Technology Center has been divided into "planning areas" for ease of reference to standards specific to particular areas of the Specific Plan. These planning areas are demonstrated on Exhibit 4.

E. GENERAL ARCHITECTURAL STANDARDS

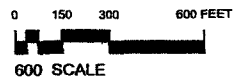
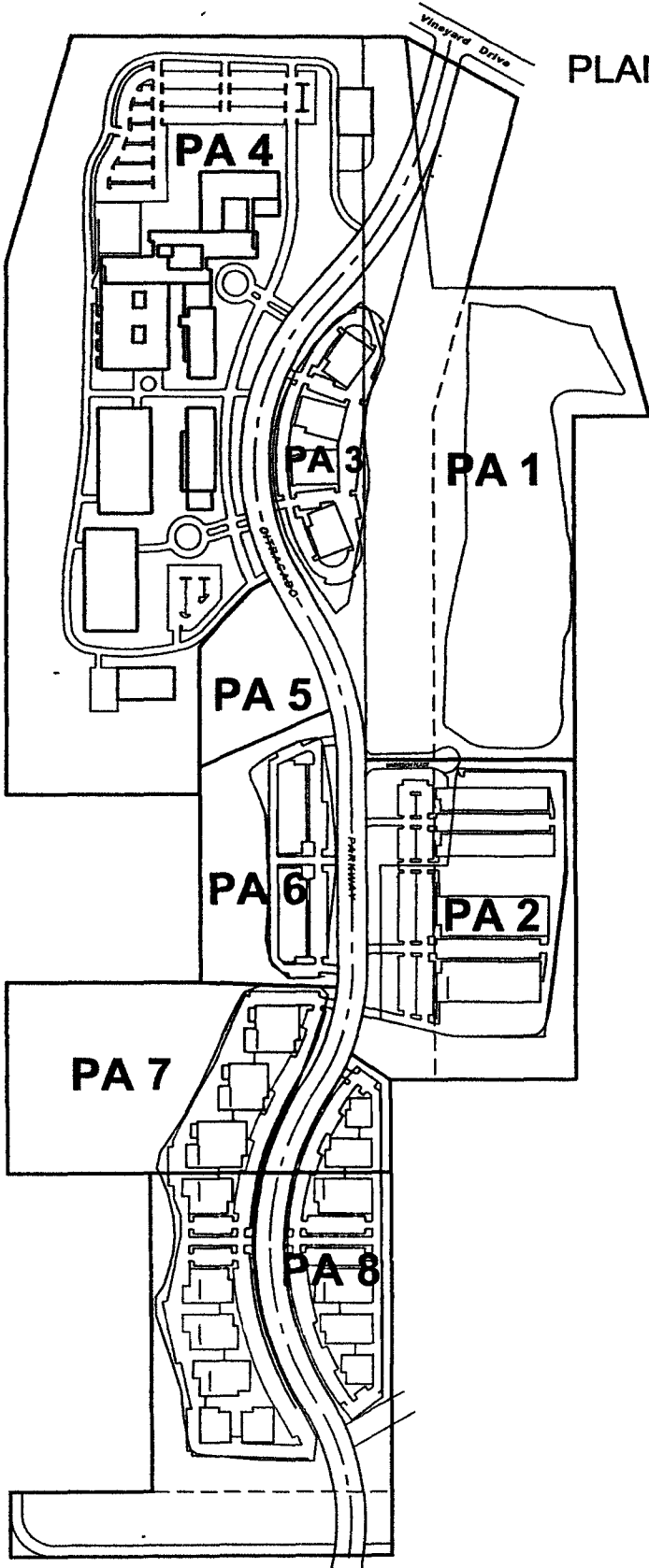
Development Guidelines

This section further describes and illustrates design concepts and components intended to define the distinctive architectural character envisioned for this business park.

It is the intent of this section to describe design guidelines that will be used to develop buildings of various types within the Escondido Research and Technology Center. Given the variety of approaches utilized by owners and design professionals, these guidelines are provided to encourage creativity while establishing a contextual framework that will lend to a visually coherent and functional business park environment. These design guidelines are intended to promote and preserve a harmonious attractive environment that combines creative elements, landscape and building structures. Since the hospital and medical-related uses in Planning Area 4 have unique design requirements, Architectural Design Guidelines for Planning Area 4 have been established. The Architectural Design Guidelines for Planning Area 4 are provided towards the end of Section E following the guidelines for the remainder of the ERTC. However, all development in the Escondido Research and Technology Center shall be designed in a manner that creates a visually coherent and functional environment.

The following descriptions of concepts, components and styles, together with landscape and functional site elements, are intended to define a palette of design considerations that will direct the designer in the organization and use of these elements. This approach will allow for varied creative design solutions for a variety of building types which can be achieved while remaining within the limits of this distinctive architectural style envisioned for the Escondido Research and Technology Center.

Exhibit 4
PLANNING AREAS MAP



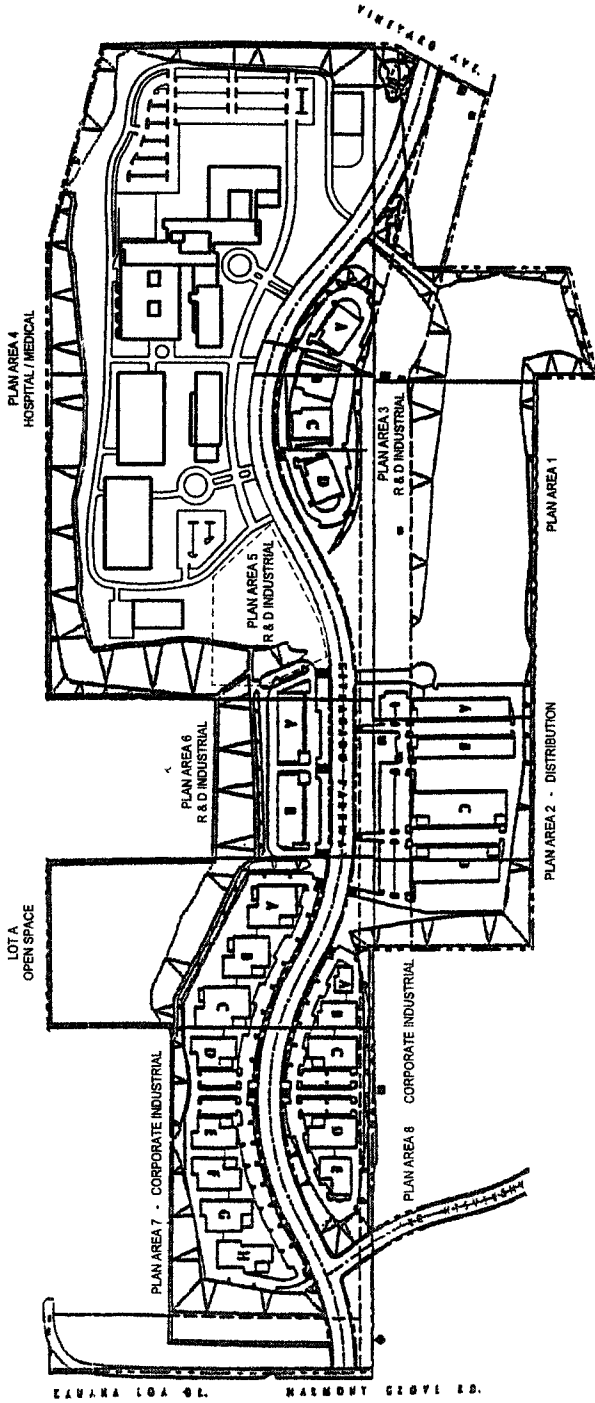
Aesthetic Considerations

- a. Architectural Design will be distinctive and harmonious through application of design strategies including massing, composition, repetition, form, focal points, rhythm, landscaping, architectural elements and color.
- b. Varied building types will be integrated through use of these elements combined with circulation elements both vehicular and pedestrian, landscaping, hardscape, lighting and project identification.
- c. Each building will exhibit design characteristics that are consistent through out the project. Proper application of these Design Guidelines will insure visual harmony with varying building types.
- d. Creative application of design strategies that satisfy more than the purely functional requirements of building programs will result in a visually coherent business park environment.
- e. Each planning area and each building type will be linked architecturally with design elements described herein.

Project Design Features

- a. Architectural features exhibited by projects within Escondido Research and Technology Center will be simplistic but refined.
- b. Buildings and site entries shall exhibit focal points including articulated landscape elements, lighting and building entrances.
- c. Individual buildings shall contain the following characteristics; surface articulation and modulation, recessed openings that create shadow patterns and rhythm, clearly defined entrances featuring architectural elements including canopies, building recesses, glass and column elements, lighting and landscape elements.
- d. Basic architectural elements will be combined and repeated to form visually integrated compositions.

Exhibit 5 CONCEPT MASTER SITE PLAN



| PLAN AREA 1 | PLAN AREA 2 | PLAN AREA 3 | PLAN AREA 4 | PLAN AREA 5 | PLAN AREA 6 | PLAN AREA 7 | PLAN AREA 8 |
|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a |

| PLAN AREA 1 | PLAN AREA 2 | PLAN AREA 3 | PLAN AREA 4 | PLAN AREA 5 | PLAN AREA 6 | PLAN AREA 7 | PLAN AREA 8 |
|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a | SEE EXHIBIT 5a |

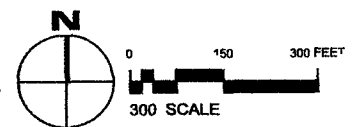
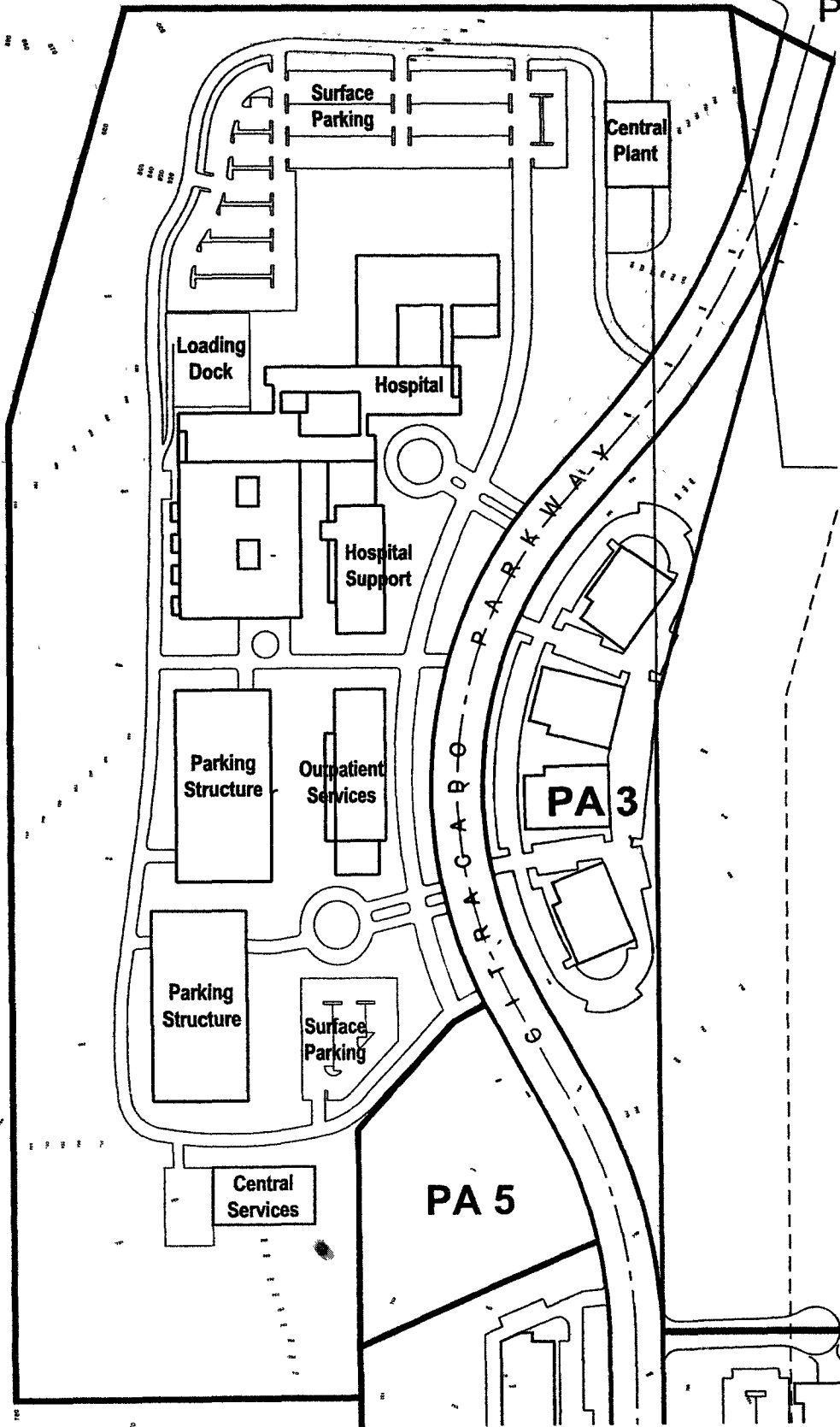
DATE: 11-1-2004

MASTER SITE PLAN

ESCONDIDO RESEARCH & TECHNOLOGY CENTER

McVelle Associates Architects
 4400 B Camino Real #100-072
 San Diego, California 92108 Tel: 619-717-7171

Exhibit 5a
PLANNING AREA 4
CONCEPT
SITE PLAN



Building Data

| Planning Area 1 | |
|--------------------------------|-------------|
| Building A | (1st Floor) |
| Building B | (1st Floor) |
| Building C | (1st Floor) |
| Building D | (1st Floor) |
| <u>Subtotal Total Building</u> | |
| <u>Area Planning Area 1</u> | |

| Planning Area 2 | | | |
|--------------------------------|-----------------------|-------------------|------------|
| Building A | 33,000 SF (1st Floor) | | 31,400 SF |
| Building B | 33,000 SF (1st Floor) | | 33,000 SF |
| Building C | 54,000 SF (1st Floor) | + 4,000 SF (Mezz) | 56,000 SF |
| Building D | 49,800 SF (1st Floor) | + 4,000 SF (Mezz) | 53,800 SF |
| <u>Subtotal Total Building</u> | | | 174,200 SF |
| <u>Area Planning Area 2</u> | | | |

| Planning Area 3 | | | |
|--------------------------------|-----------------------|--|-----------|
| Building A | 18,600 SF (1st Floor) | | 18,600 SF |
| Building B | 18,600 SF (1st Floor) | | 18,600 SF |
| Building C | 18,600 SF (1st Floor) | | 18,600 SF |
| Building D | 18,600 SF (1st Floor) | | 18,600 SF |
| <u>Subtotal Total Building</u> | | | 74,400 SF |
| <u>Area Planning Area 3</u> | | | |

| Planning Area 4 | | | |
|--------------------------------|----------------------|--|--------------------------|
| Building A | 20,000 SF (2 Floors) | | 40,000 SF |
| Building B | 20,000 SF (3 Floors) | | 60,000 SF |
| Building C | 20,000 SF (4 Floors) | | 80,000 SF |
| Building D | 20,000 SF (5 Floors) | | 100,000 SF |
| <u>Subtotal Total Building</u> | | | 280,000 SF See |
| <u>Area Planning Area 4</u> | | | <u>Concept Site Plan</u> |
| | | | <u>Exhibit 5A</u> |

| Planning Area 5 | | | |
|--------------------------------|-----------------------------|--|------------|
| Building A | 24,000 SF (2 Floors) | | 48,000 SF |
| Building B | 20,600 SF (3 Floors) | | 41,200 SF |
| Building C | 200,000 SF (1st Floor) | | 200,000 SF |
| Building D | 18,900 SF (1st Floor) | | 18,900 SF |
| Building E | 22,400 SF (1st Floor) (GN1) | | 22,400 SF |
| Building F | 21,400 SF (1st Floor) | | 21,400 SF |
| <u>Subtotal Total Building</u> | | | 351,900 SF |
| <u>Area Planning Area 5</u> | | | |

| Planning Area 6 | | |
|---|-----------------------|-----------|
| Building A | 33,000 SF (1st Floor) | 28,000 SF |
| Building B | 33,000 SF (1st Floor) | 28,000 SF |
| <u>Subtotal Total Building Area Planning Area 6</u> | | 56,800 SF |

| Planning Area 7 | | |
|---|-------------------------|---------------------------|
| Building A | 26,600 SF (1st Floor) + | 2,000 SF (Mezz) 28,600 SF |
| Building B | 24,300 SF (1st Floor) + | 2,000 SF (Mezz) 26,300 SF |
| Building C | 30,700 SF (1st Floor) + | 2,000 SF (Mezz) 32,700 SF |
| Building D | 19,600 SF (1st Floor) + | 2,000 SF (Mezz) 21,600 SF |
| Building E | 19,600 SF (1st Floor) + | 2,000 SF (Mezz) 21,600 SF |
| Building F | 21,400 SF (1st Floor) + | 2,000 SF (Mezz) 23,400 SF |
| Building G | 22,400 SF (1st Floor) + | 2,000 SF (Mezz) 24,400 SF |
| Building H | 21,200 SF (1st Floor) + | 2,000 SF (Mezz) 23,200 SF |
| <u>Subtotal Total Building Area Planning Area 7</u> | | 201,800 SF |

| Planning Area 8 | | |
|---|-------------------------|---------------------------|
| Building A | 8,400 SF (1st Floor) | 8,400 SF |
| Building B | 15,400 SF (1st Floor) | 15,400 SF |
| Building C | 23,400 SF (1st Floor) + | 2,000 SF (Mezz) 25,400 SF |
| Building D | 23,400 SF (1st Floor) + | 2,000 SF (Mezz) 25,400 SF |
| Building E | 15,100 SF (1st Floor) | 15,100 SF |
| <u>Subtotal Total Building Area Planning Area 8</u> | | 89,700 SF |

Architectural Design (Planning Areas 1, 2, 3, 5, 6, 7 and 8)

Design strategies contained in this section describe in graphic and written form the application of primary and secondary design elements. Creative use of these strategies by design professionals will lead to a distinctive yet unified business park environment.

The following diagrams and text illustrate building, site and landscape components intended to define a palette from which designers can create unique yet cohesive design solutions. This approach will foster creative solutions applied to a variety of building types achieved within the aesthetic structure contained in these guidelines.

These architectural design guidelines are not applicable to Planning Area 4 due to the unique design requirements of the hospital and medical-related uses intended for that planning area. Instead, provided at the end of this section is Architectural Design Guidelines for Planning Area 4-Hospital/Medical-Related Uses. However, all development in the Escondido Research and Technology Center shall be designed in a manner that creates a visually coherent and functional environment.

The aesthetic character of the architecture relies on simplicity of scale, massing, proportion, articulation, color and texture. The success of an individual composition will be due to the individual design professional's creative application of the following concepts:

1. Character

- a. The architectural style of the Escondido Research and Technology Center is described as a composition of simplistic, solid geometric forms and planes of distinct texture and color articulated by rhythmic repetition of penetrations creating scale, continuity and focus. The general scale, rhythm and composition of this architectural style are illustrated in the exhibits found in this chapter.
- b. The character of architecture relies on simplicity, scale, massing, rhythm, proportion, light-shadow, texture and color. Each design solution shall be evaluated based on these characteristics and their compositional success in creating a distinctive and cohesive overall development.
- c. Building forms and massing shall be articulated through use of architectural design elements including but not limited to the following (Graphic examples shown on Exhibits 6 through 9):
 - Arcades
 - Parapets
 - Wall plane changes/articulation/corners
 - Pergolas
 - Plazas
 - Color
 - Recessed window/entry openings
 - Surface textures
 - Fenestration/ reveal patterns
- d. Surface articulation is an important component in the form of a building. Articulation can be achieved through use of wall changes, fenestration, reveal patterns, and wall penetrations, as shown on Exhibits 10 and 11. The appropriate color, texture and form regarding the exterior surface materials and integrating exposed components are especially important for any proposed power plant.
- e. All buildings shall be composed of horizontal and vertical elements arranged in harmonious compositions.
- f. Areas of high importance or destination such as entryways or unique features shall be articulated architecturally by prominent vertical building masses, intersections of building forms, variation in parapet lines, increased scale of penetrations, emphasized repetitive site forms, or landscaping and signage.
- g. Where adjacent buildings and/ or groups of buildings occur within a specific plan neighborhood, their massing relationships shall be studied and resolved in total in order to enhance the unity and spatial character of the project and to ensure continuity in scale and form within building clusters.

Exhibit 6
ARCHITECTURAL MASSING

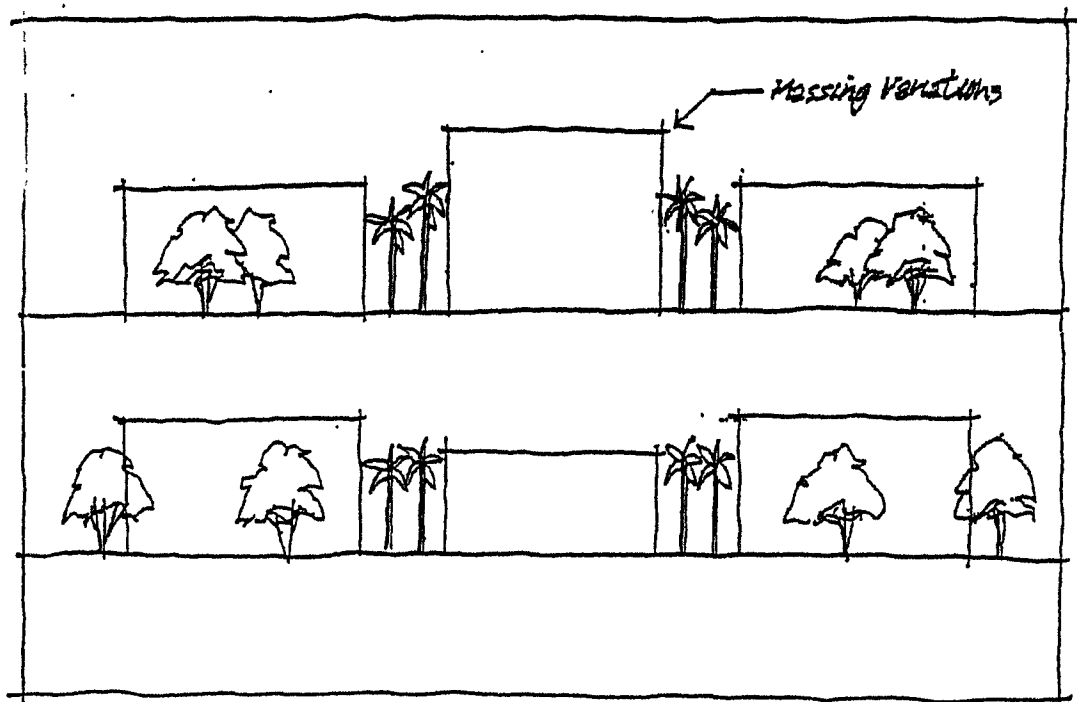
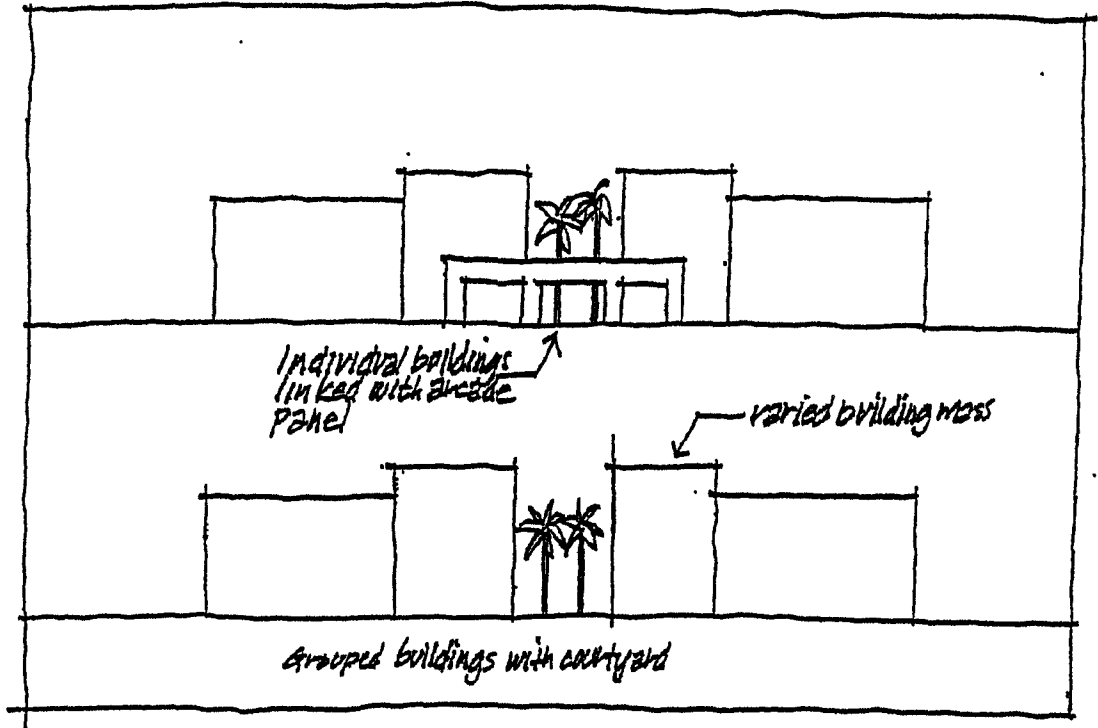


Exhibit 7
ARCHITECTURAL CONCEPTS

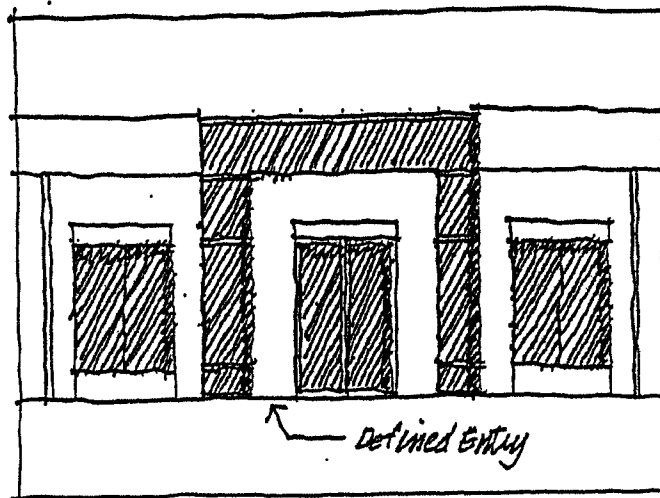
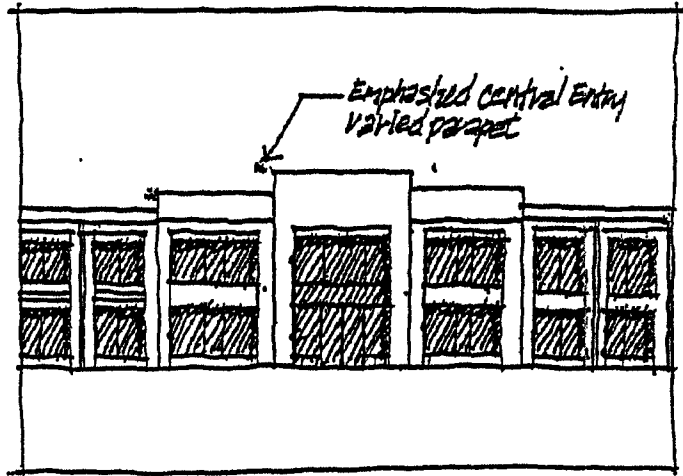
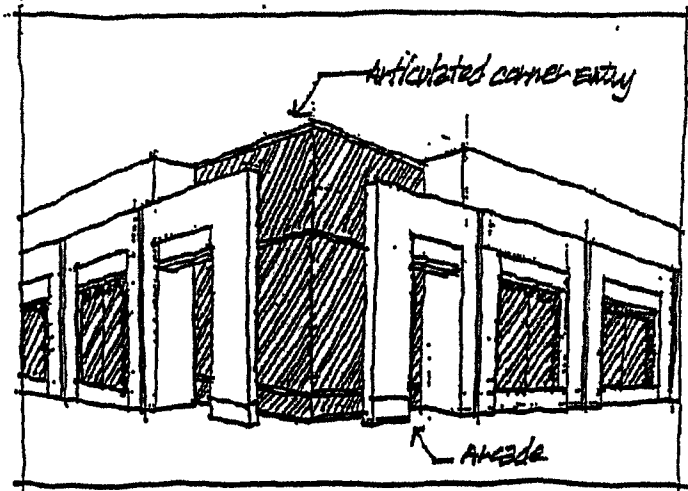


Exhibit 8
ARCHITECTURAL FORMS

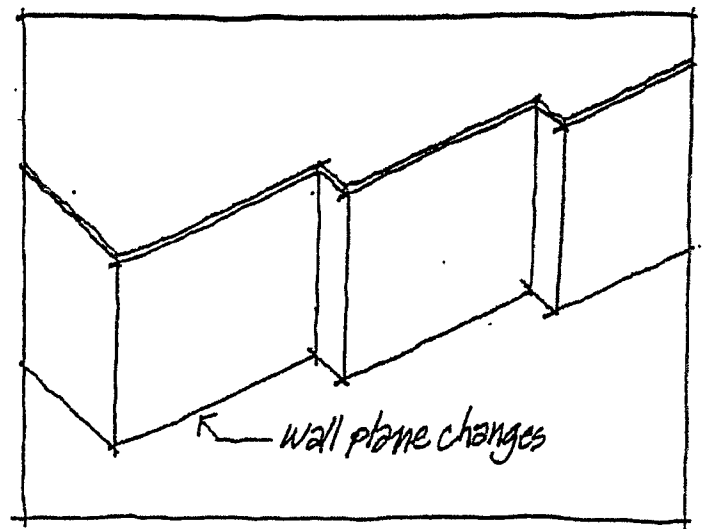
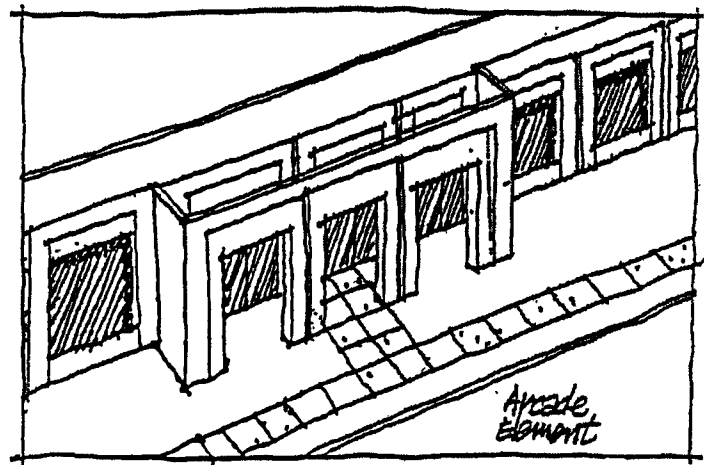
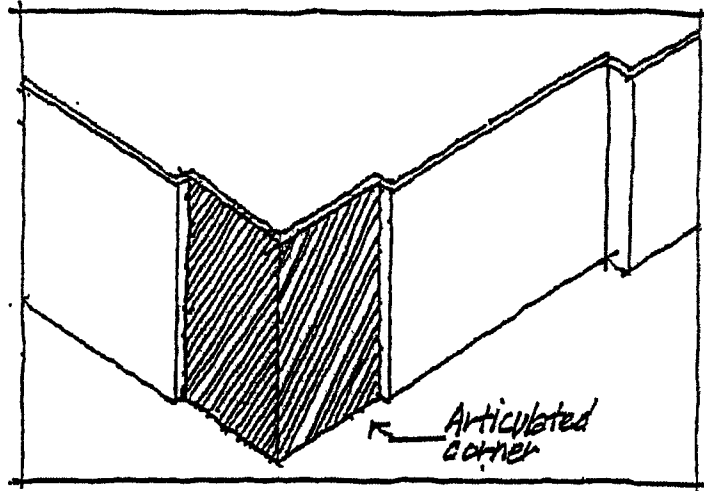
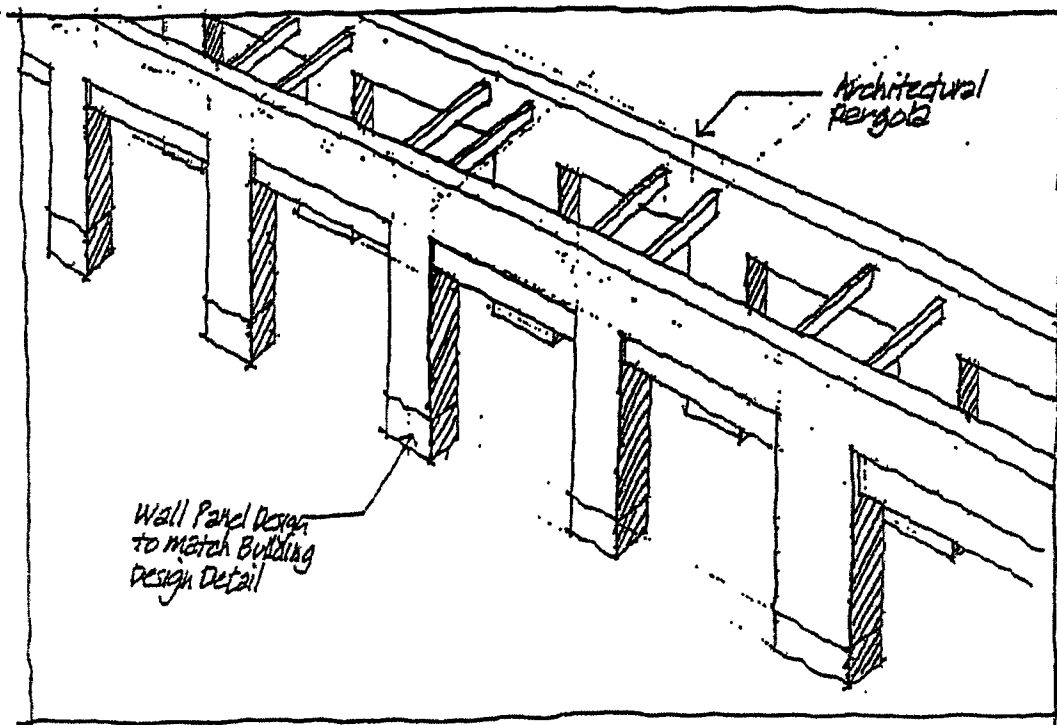
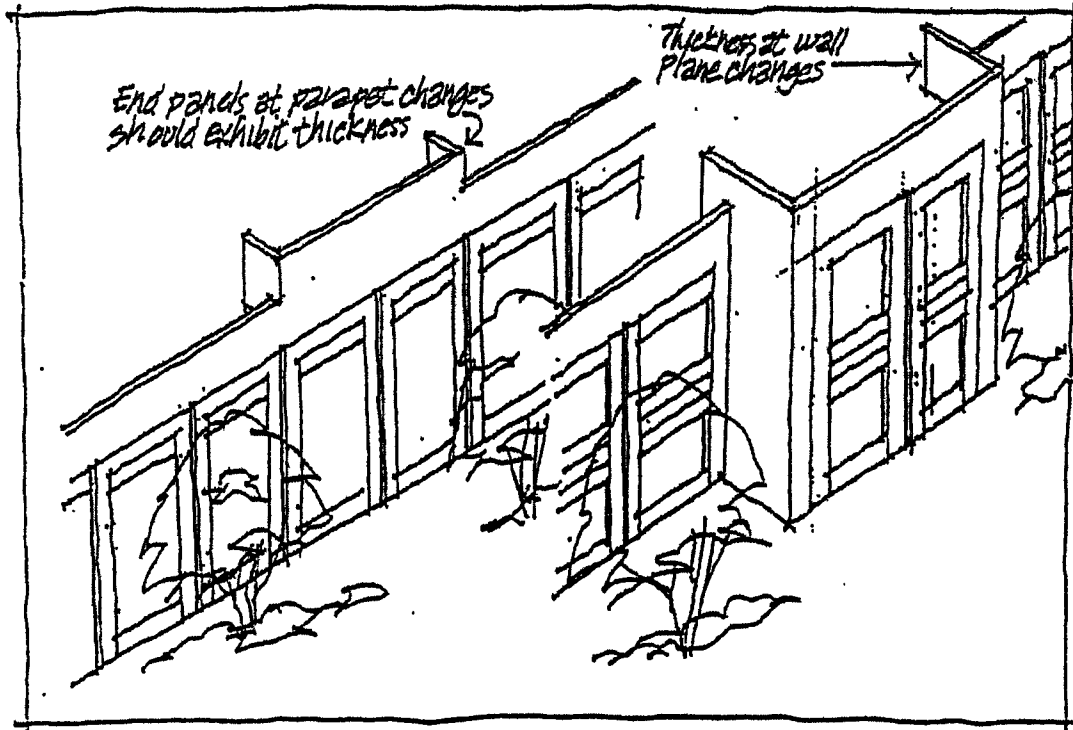


Exhibit 9
ARCHITECTURAL FORMS



- h. Freestanding structures may be compatible in form and materials with buildings immediately adjacent and should maintain design continuity within the individual planning area. Materials and colors shall be selected from the approved palette, while precise detailing may be more regulated with design elements. Basic architectural designs featuring form, massing and composition shall maintain a visually integrated profile over the entire specific plan area.
- i. All building walls shall be simple and planar with limited decoration. They may be perforated and penetrated to create patterns of light and shadow and articulated with fenestration and wall changes.
- j. Site forms, arcades and window elements which create strongly repetitive patterns are encouraged, as shown on the following exhibits.
- k. Acceptable architectural elements to be considered for creating and modulating scale, massing, pattern, rhythm, direction and points of interest are illustrated in Exhibits 12 and 13, and include the following project design elements:
 - Articulation
 - Surface modulation
 - Openings and solids creating shadow patterns
 - Focal points, defined entrances
 - Context
 - Site
 - Climate
 - Orientation
 - Form
 - Planes both horizontal and vertical
 - Surface articulation
 - Facade
 - Reveal patterns
 - Fenestration
 - Rhythm
 - Articulation
 - Parapets
 - Varied heights
 - Horizontal
 - Curved

2. Facades

Building facades shall contain design elements that when integrated in creative solutions will exhibit a coordinated design approach. Some design elements may include:

- a. Reveals - patterns that organize openings, fenestration and materials in horizontal and vertical

Exhibit 10
ARCHITECTURAL ARTICULATION

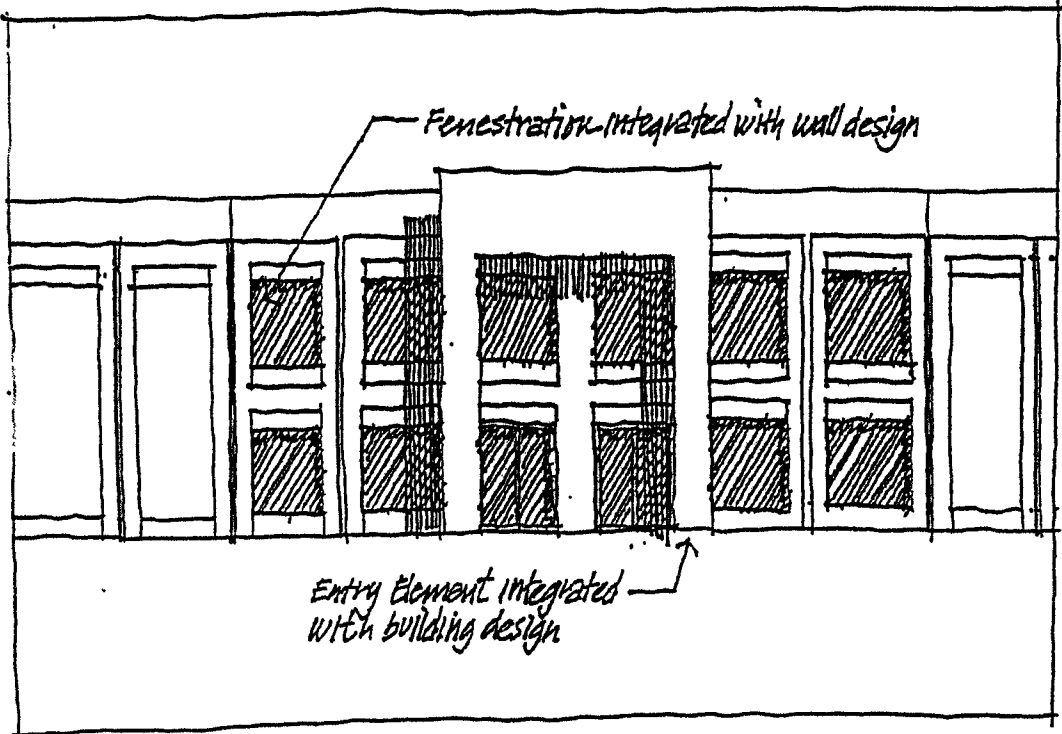
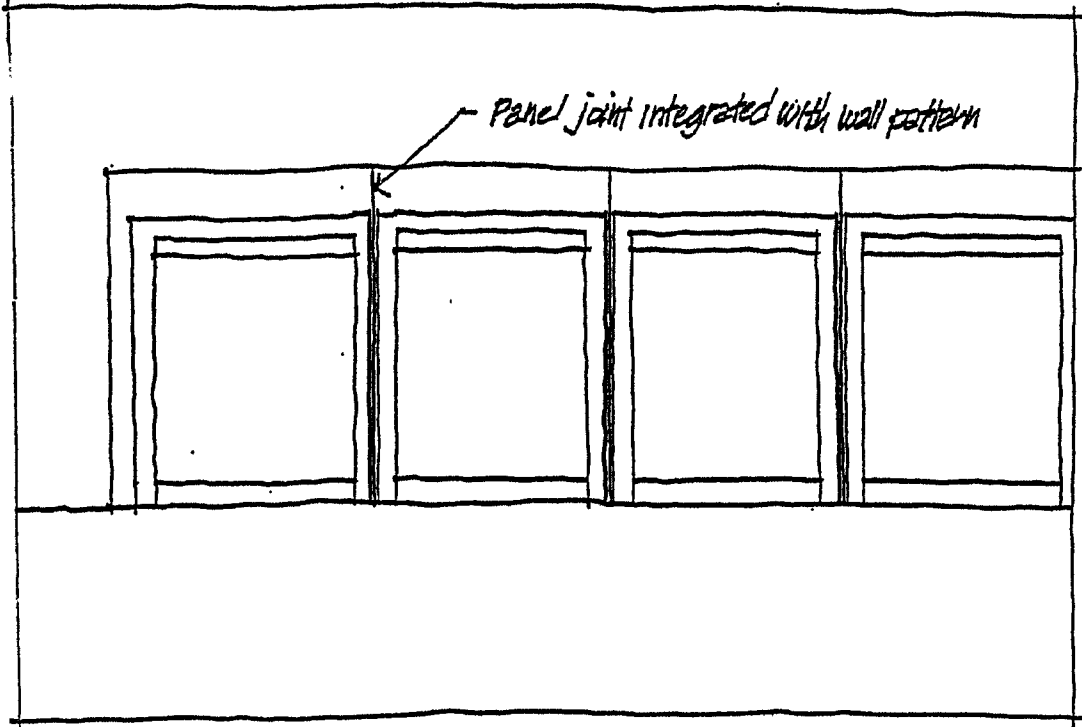


Exhibit 11
ARCHITECTURAL ARTICULATION

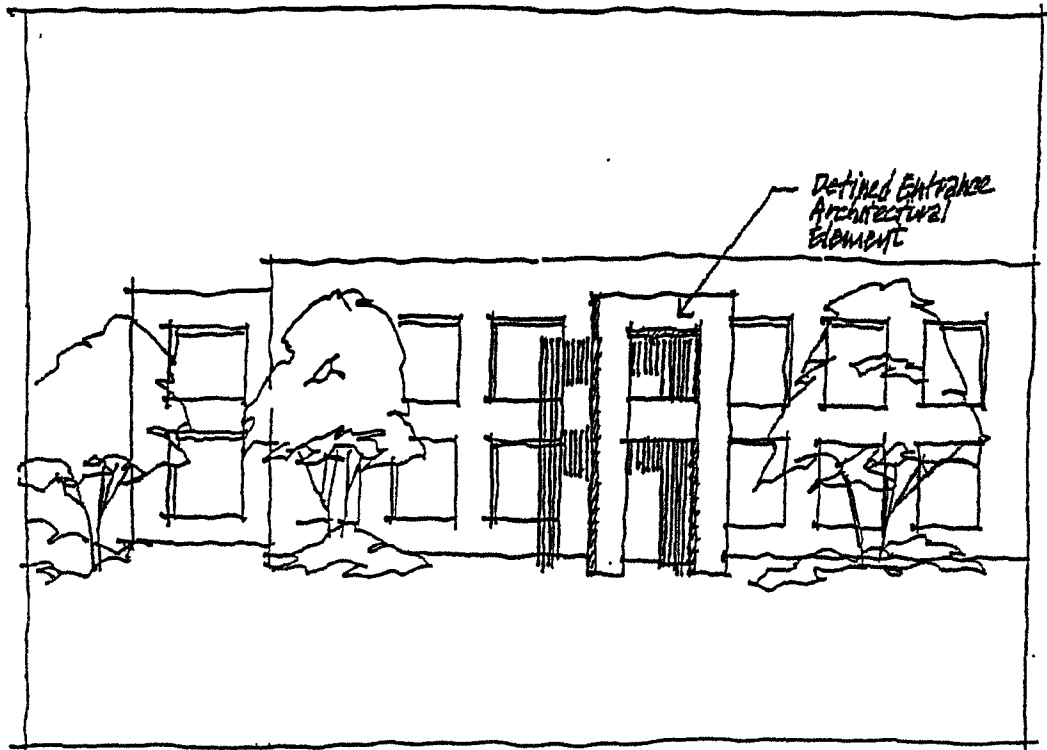
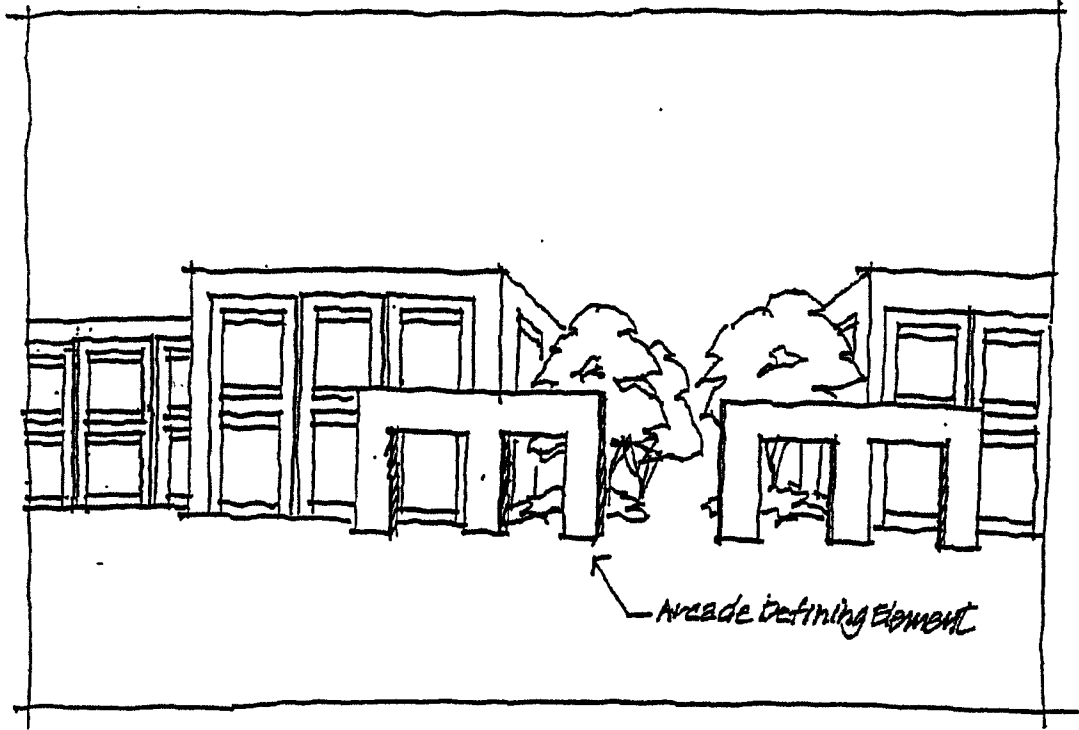


Exhibit 12
ARCHITECTURAL ELEMENTS

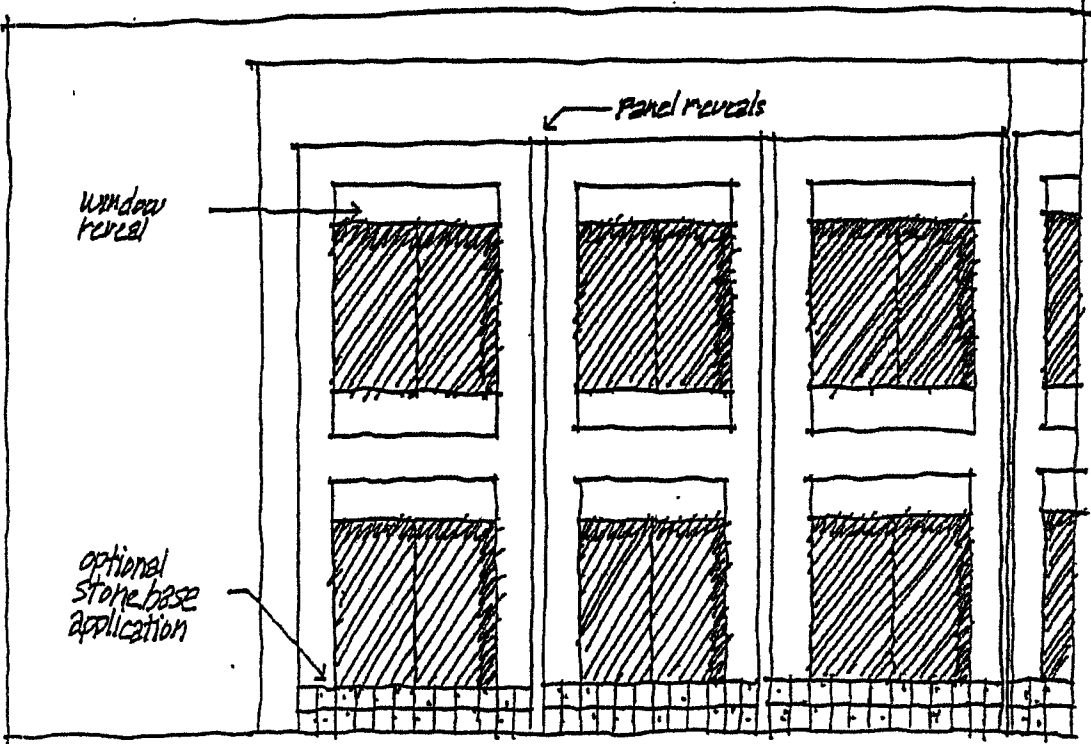
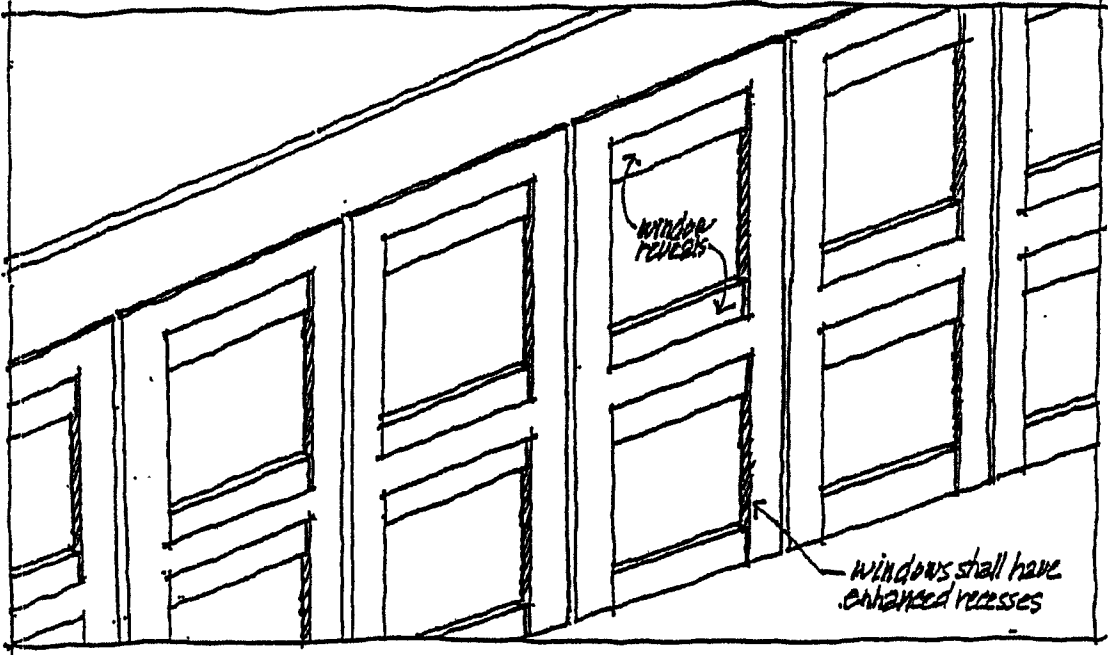
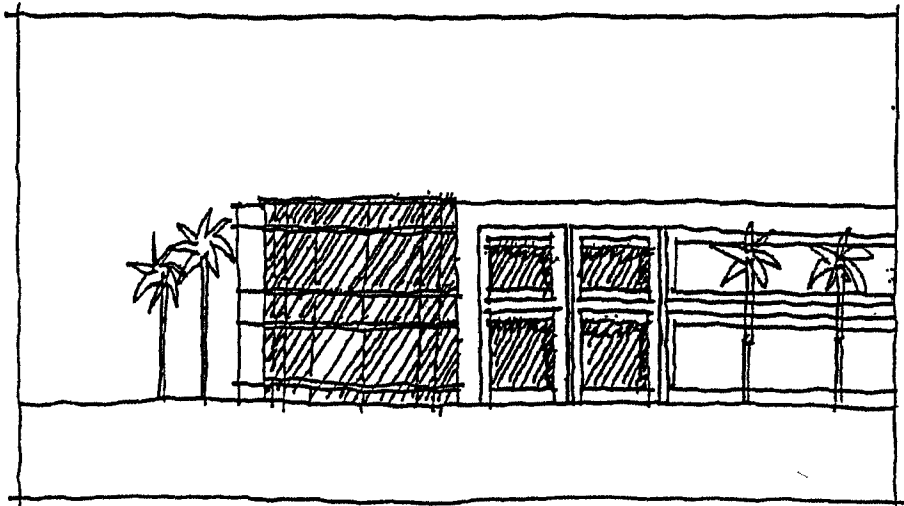
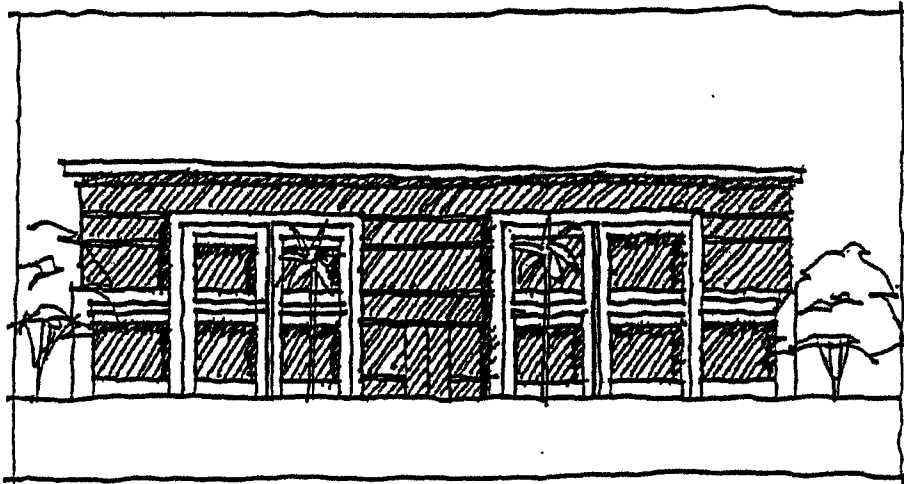
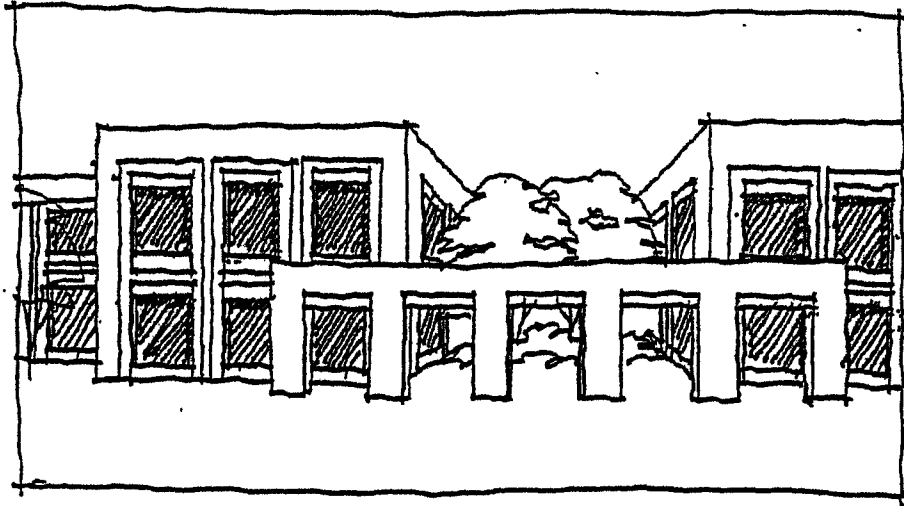


Exhibit 13
ARCHITECTURAL ELEMENTS



wall systems.

- b. Facades of geometric forms shall be articulated with wall changes, penetrations, reveals and architectural elements such as arcades. Examples of this concept are shown on Exhibits 14 and 15.
- c. Applied surface decoration shall be discouraged.
- d. Building facades may be articulated with variations in roof parapets including varied horizontal parapets, angled roof forms and curved roof forms.

3. Fenestration

Fenestration is defined as the arrangement, division, proportion and design of windows and doors. The use of window and door openings in repetitive patterns will be encouraged. Fenestration shall be distinctive, functional and used as a primary means of providing rhythm and pattern to wall surfaces, as shown on Exhibit 16.

- a. Recessed fenestration is encouraged as a primary design element creating rhythm and pattern to surface walls. Fenestration alternatives that create strongly repetitive patterns will be encouraged.
- b. Fenestration shall be subordinate to building form, massing and penetrations. Fenestration shall be simplified and used as an infill within penetrations of solids.

4. Structure

- a. Structure shall be expressed as elements of geometric solid forms. Proportion and patterns for overall building forms may utilize visible structural elements as part of the design.
- b. Exterior structural elements shall be generally contained within the perimeter walls of buildings and shall be modular in expression, in keeping with the scale and rhythm of wall penetrations such as fenestration and arcades.
- c. Structural elements that are expressed as building elements such as arcades and canopies are acceptable. (Exhibits 16 and 17)

5. Roof Forms

- a. Roof lines shall generally be horizontal although carefully designed alternatives will be considered based on inclusion within an overall design scheme.
- b. Varied parapet and horizontal planes height may be utilized to achieve massing goals. Varied parapets should return over roofs to create visually solid forms. (Exhibits 18 and 19)
- c. Varied roof forms shall be used as organizational components that help groups of buildings relate to a larger whole.

Exhibit 14
ARCHITECTURAL FACADES

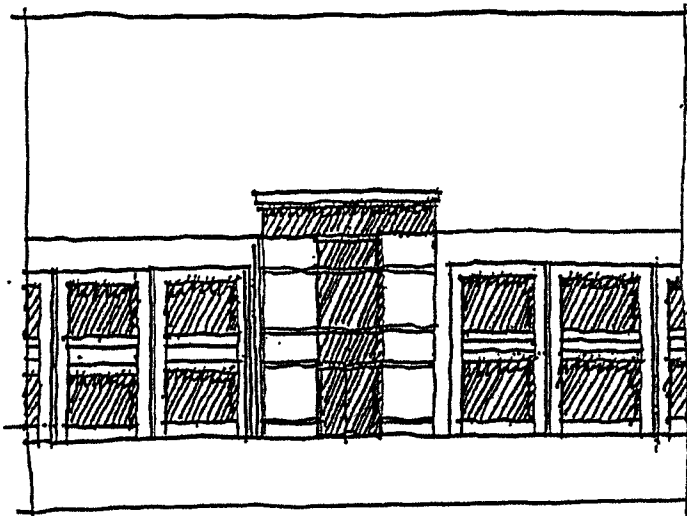
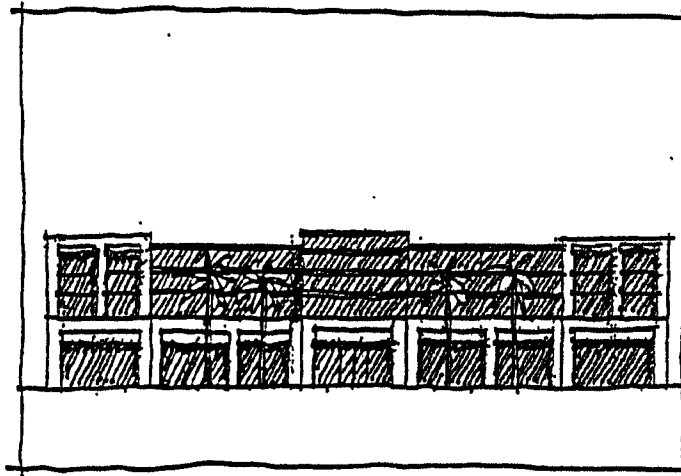
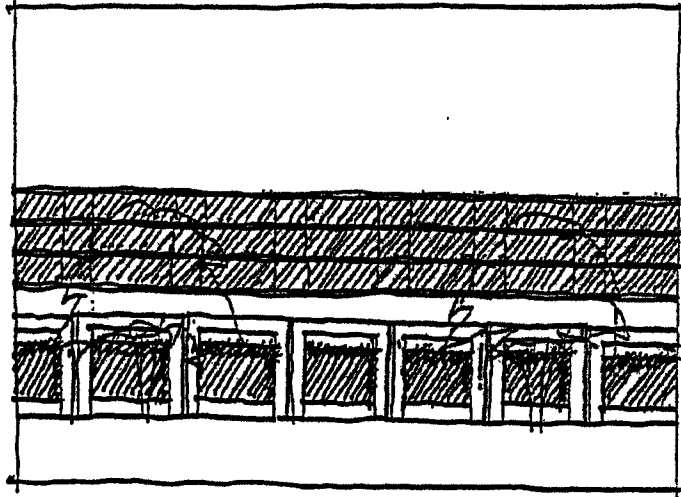


Exhibit 15
ARCHITECTURAL FACADES

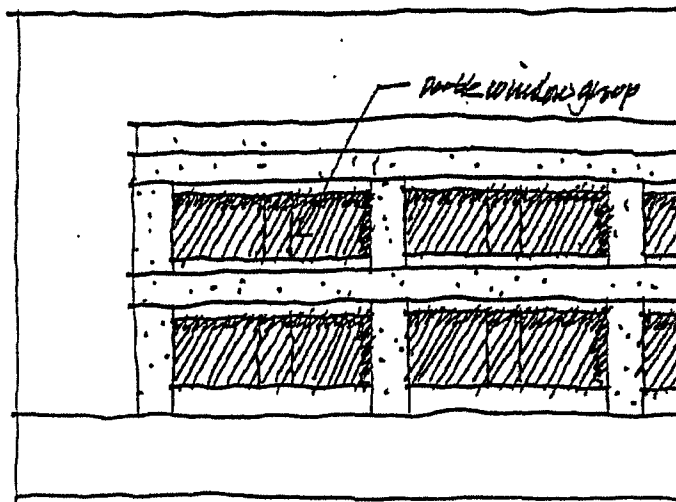
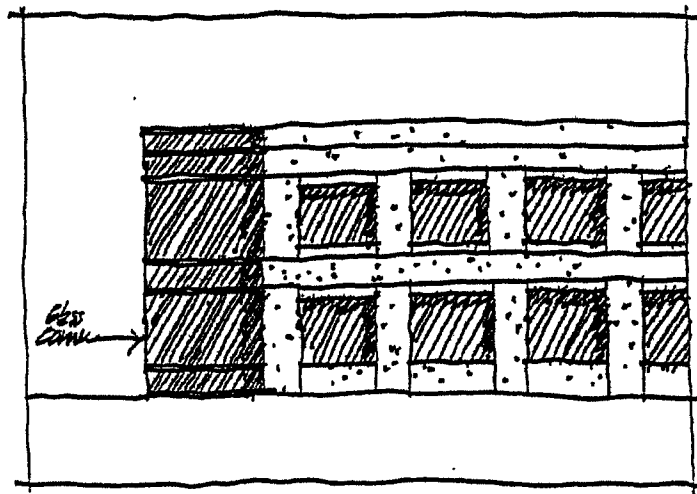
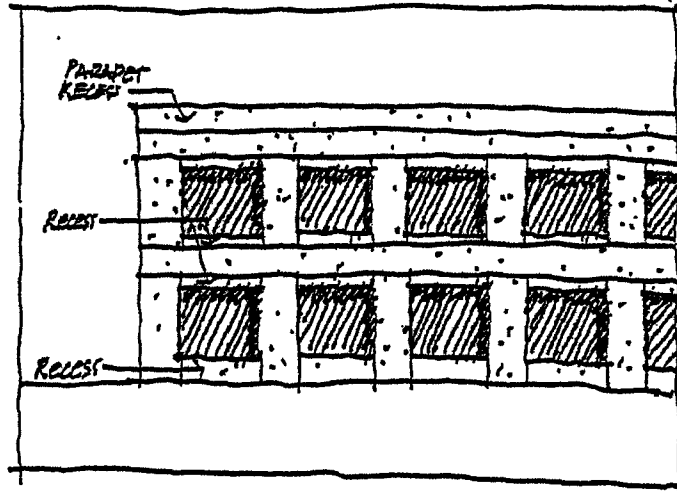


Exhibit 16
STRUCTURAL ELEMENTS

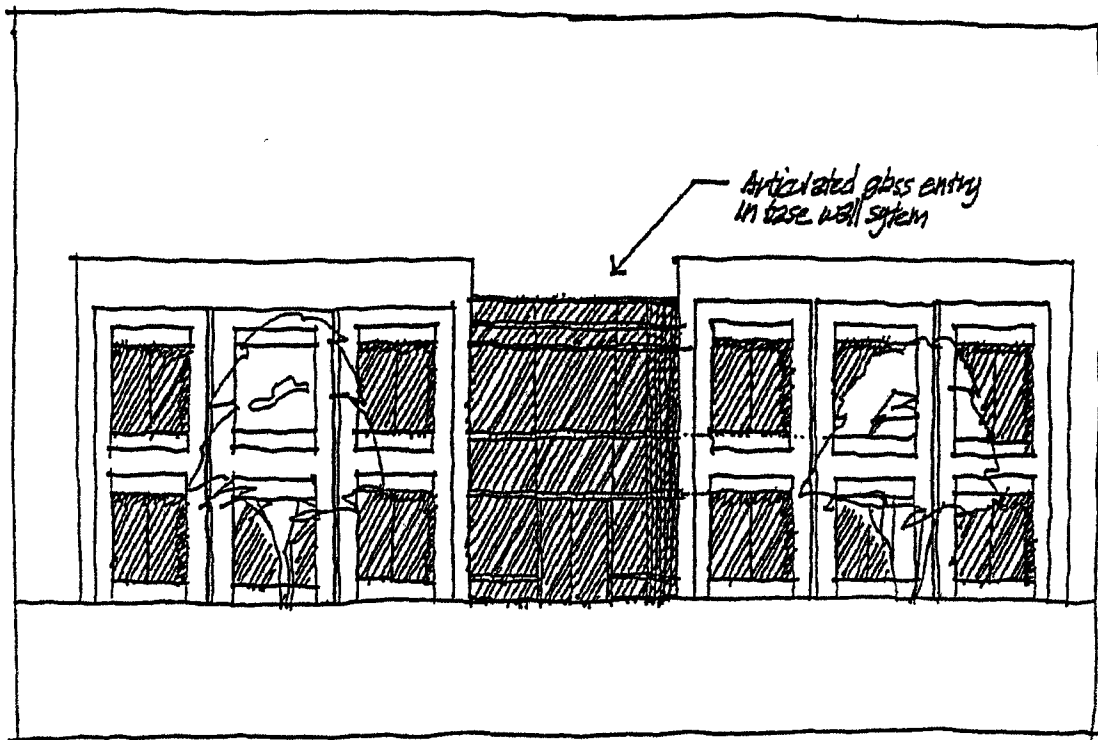
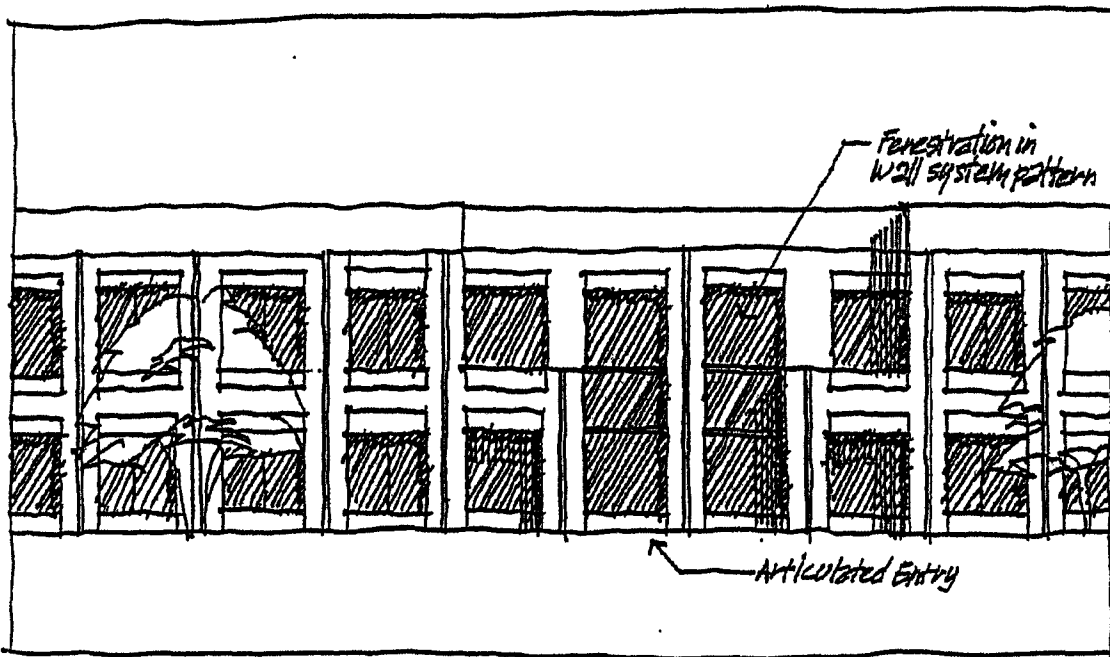


Exhibit 17
STRUCTURAL ELEMENTS

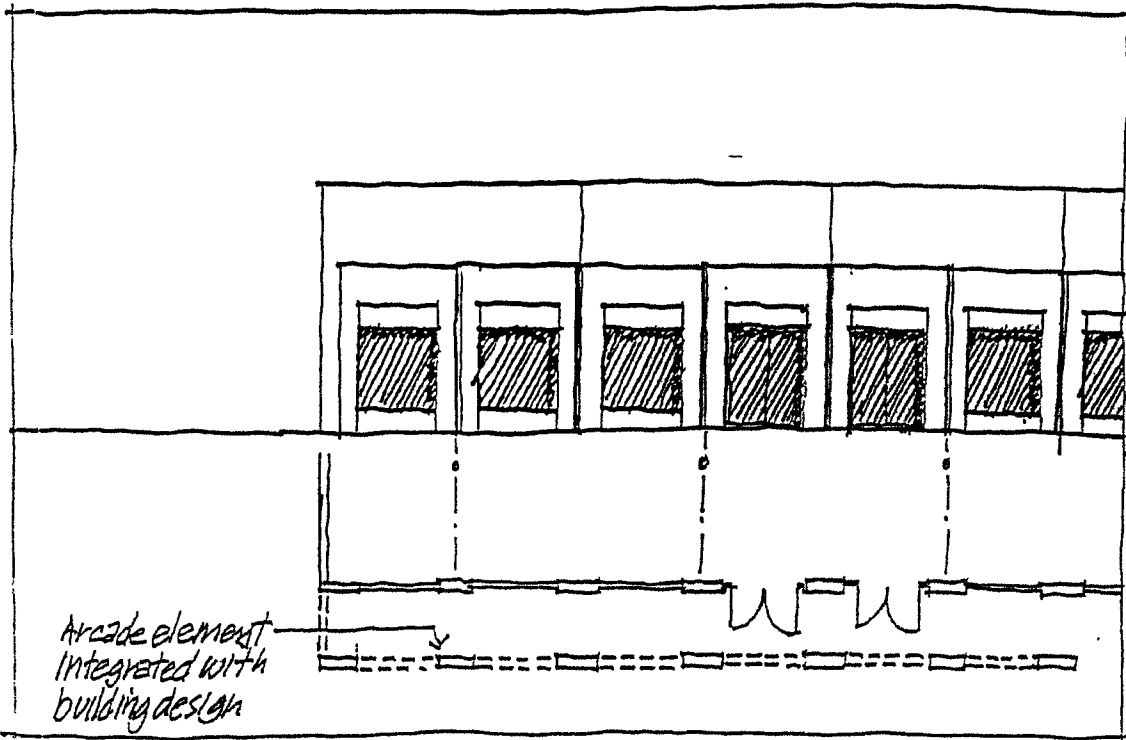
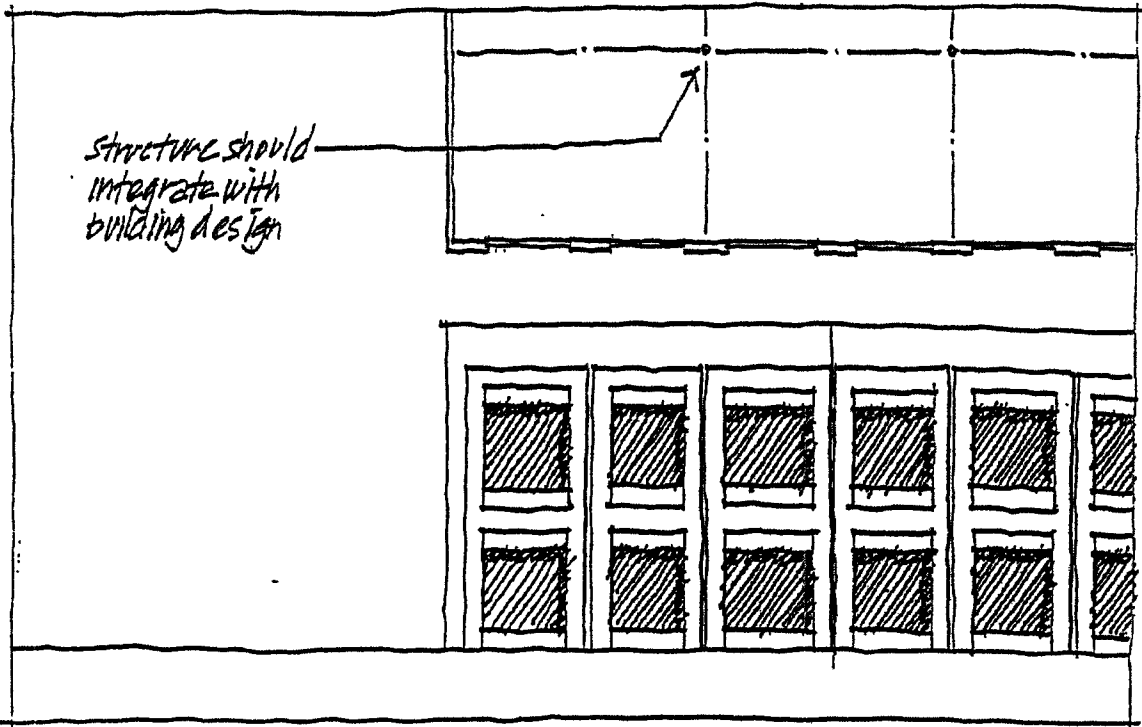


Exhibit 18
ARCHITECTURAL PARAPETS

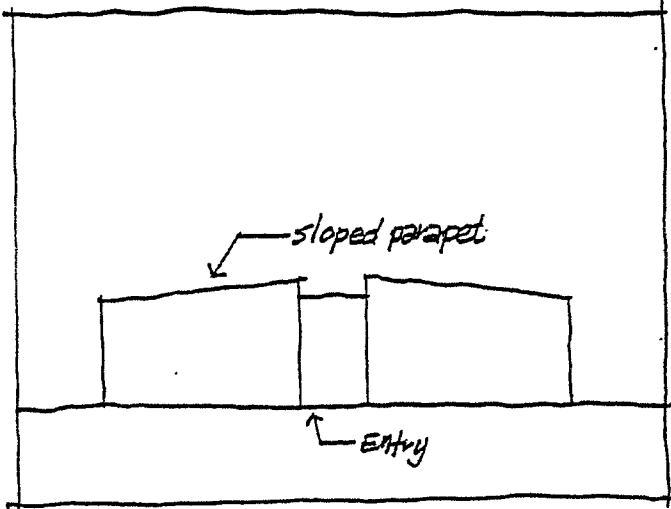
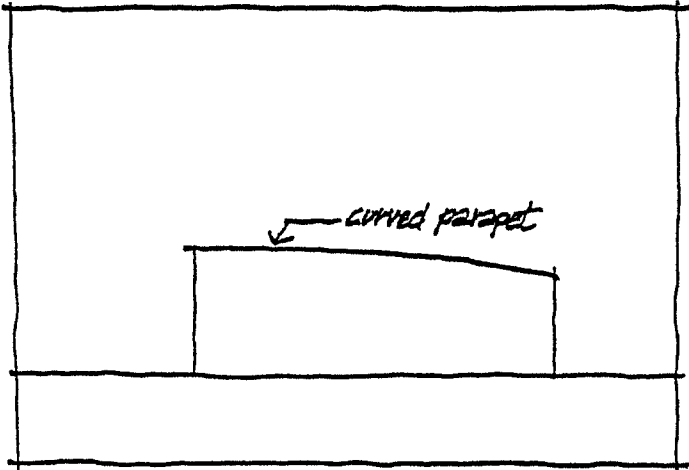
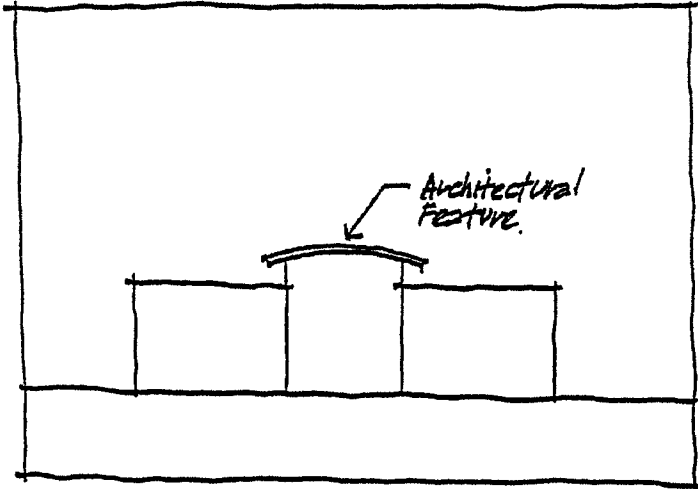
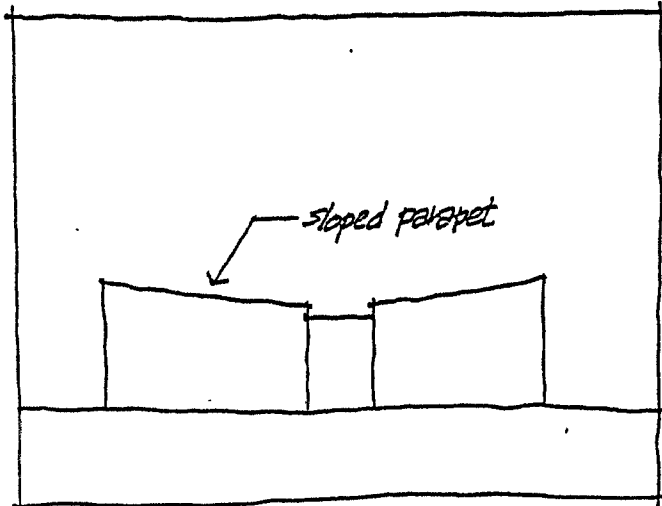
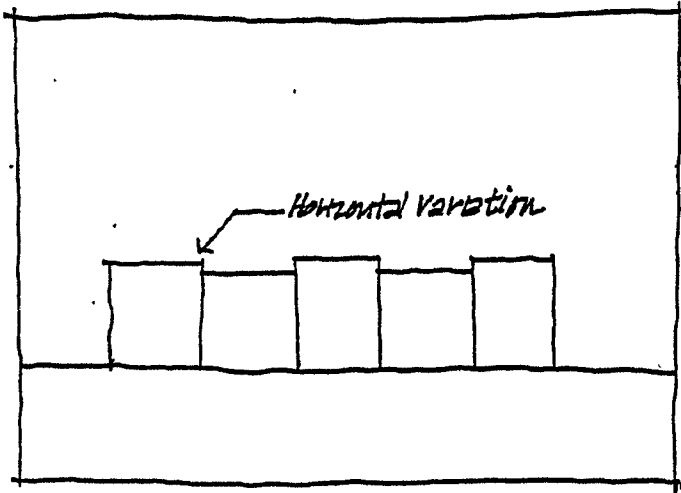
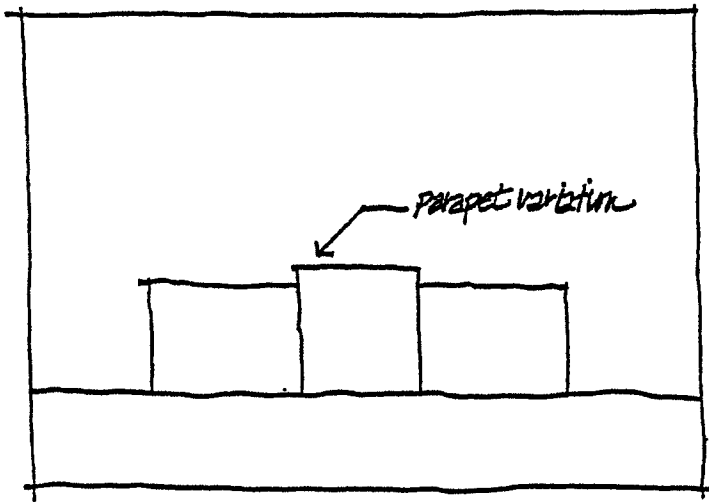


Exhibit 19
ARCHITECTURAL PARAPETS



6. Mechanical Equipment

- a. All exterior and electrical equipment, including HV AC, vents, stacks, storage tanks, communications antennas and satellite dishes shall typically be screened using building parapets. Otherwise the use of mechanical screens may be required, as shown on Exhibit 20. Exposed mechanical equipment on any proposed power plant shall be minimized, and integrated with the primary structure to the extent feasible.
- b. All ground mounted mechanical equipment shall be screened from view by means of a wall at least as high as the equipment and not less than 6-feet high and have open trellis type covers.
- c. All screening materials shall be similar in material, color and texture (where feasible) to the exterior walls. Additionally, screening shall be carefully considered as a major element in the overall massing of each building. Screen walls shall be at least as high as equipment.
- d. Extended perimeter building walls and extended parapets are encouraged to be used as screening devices. Examples of nonconforming screening techniques include screening that is unresponsive in proportion, location or finish to the overall massing and character of the project.

7. Building Entrances

- a. All building entrances shall be clearly defined.
- b. Entrances shall be coordinated with site design and landscaping to recognize an entry sequence and visual identity, as shown on Exhibits 21 and 22.
- c. Appropriate entry sequences are encouraged to include:
 - Light, open and inviting spaces
 - Recessed, sheltered entries
 - Entries integrated into overall building form and design
 - Entries clearly articulated with basic building vocabulary design elements

Inappropriate treatments that will be discouraged include:

- Exaggerated forms and color
- Dark, confined appearance
- Flush storefront doorways
- Tacked-on or protruding entries and alcoves . Inappropriate applied design elements

8. Materials

- a. It is the intention of this section to ensure the integrity and character of the project, while providing opportunity for creative design through application of a selected variety of building materials. Conforming exterior finishes are limited to a strict palette of materials and color. The color of any proposed power plant shall be coordinated with the design of exterior surface materials and measures to integrate exposed components. The design, materials, and exposed component integration shall be reviewed by the City's Design Review Board prior to commencing construction of the power plant facility.

Exhibit 20
MECHANICAL SCREENING

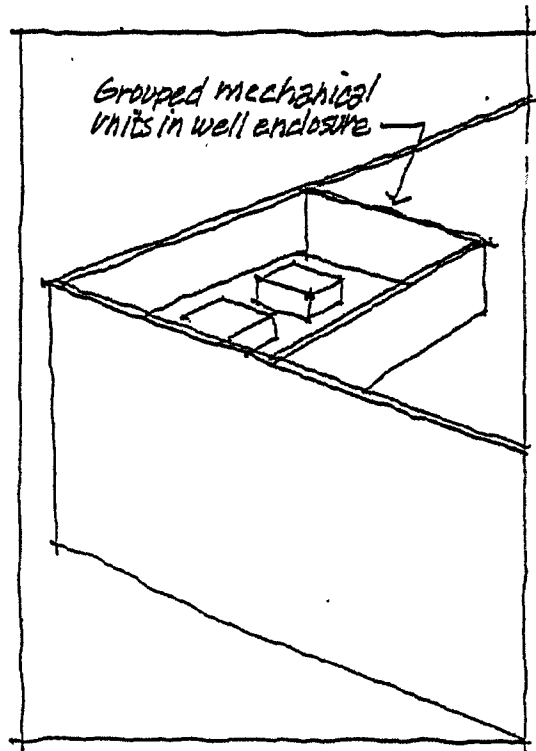
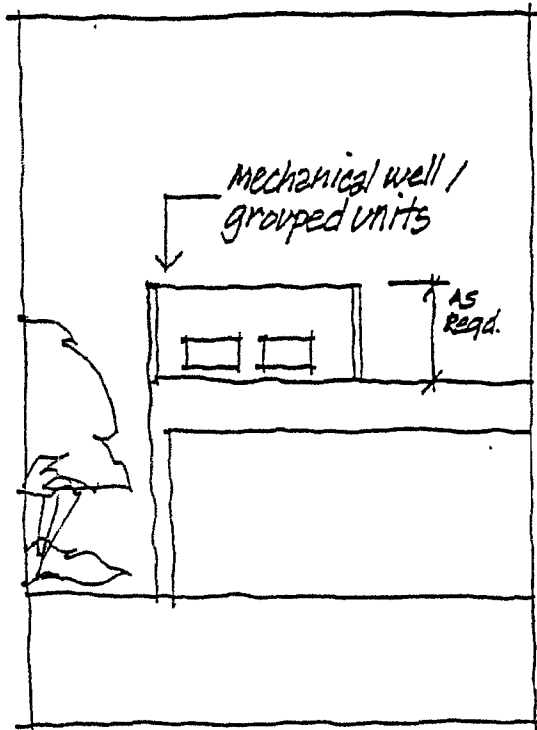
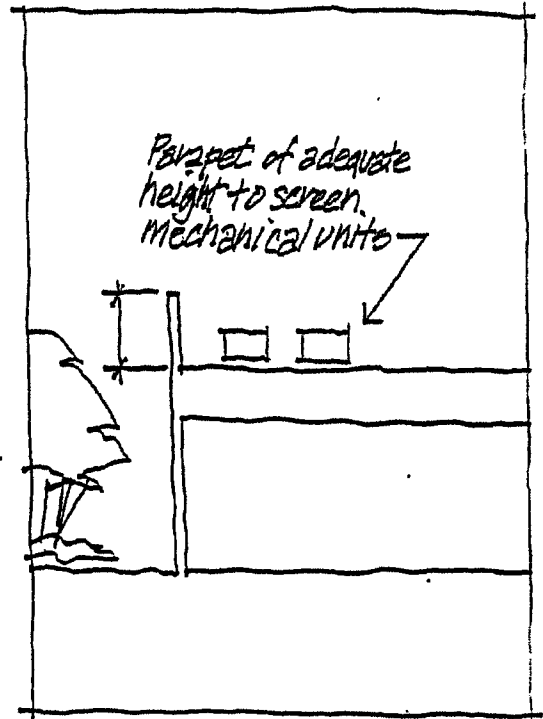
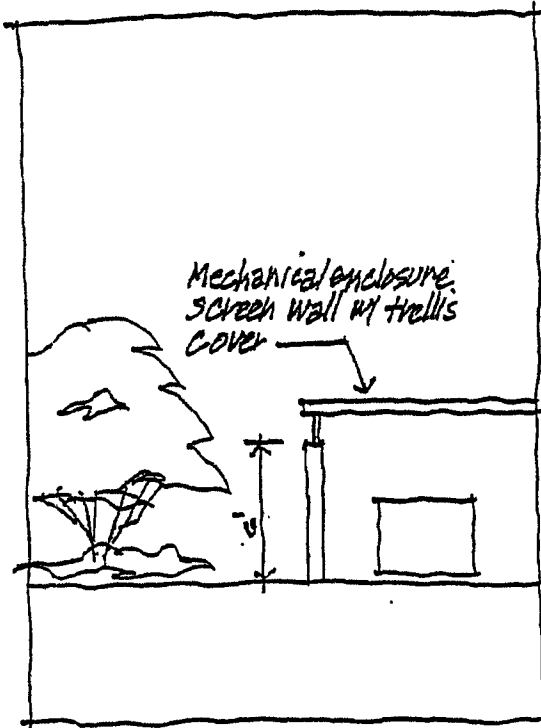


Exhibit 21
ENTRANCES

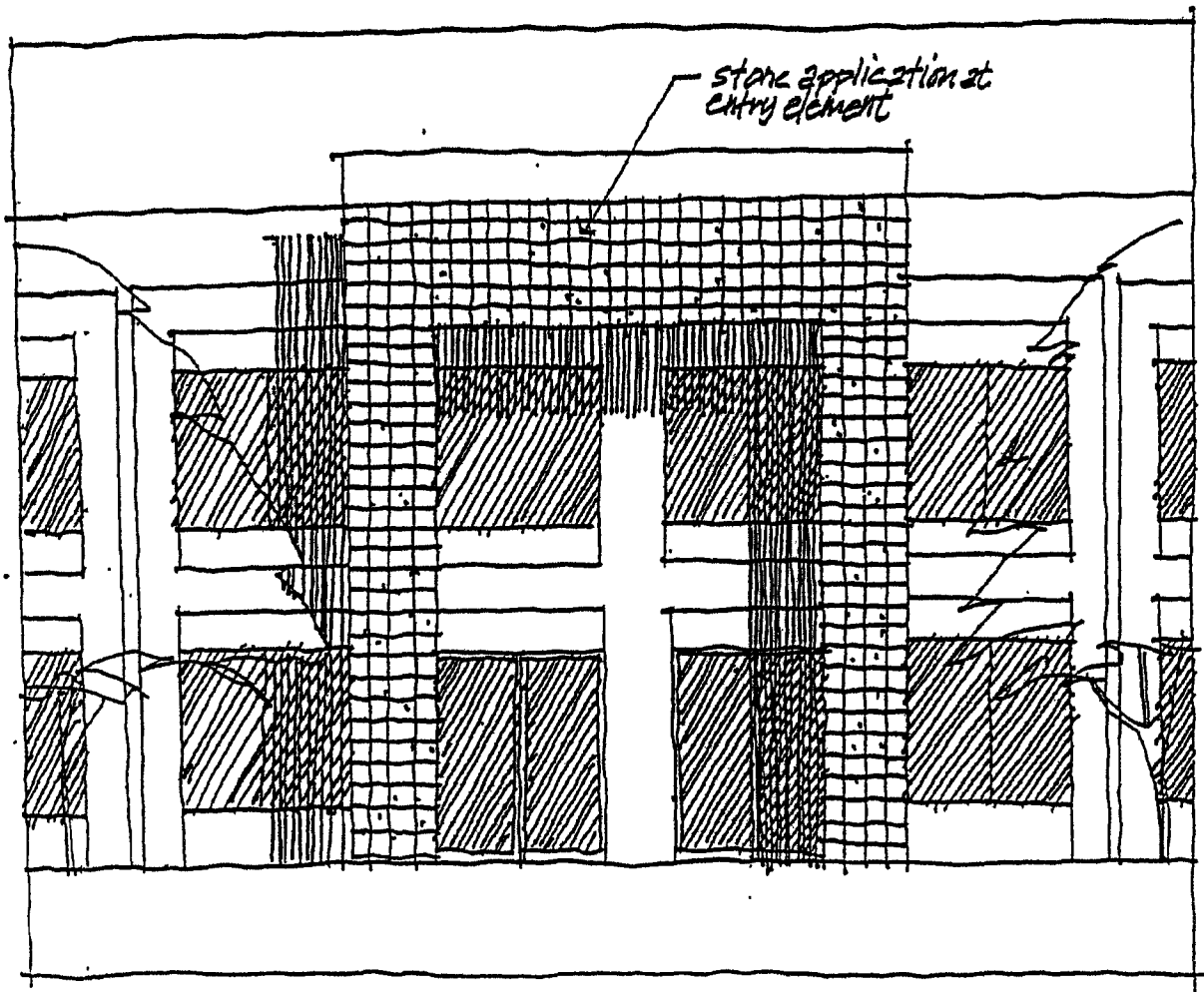
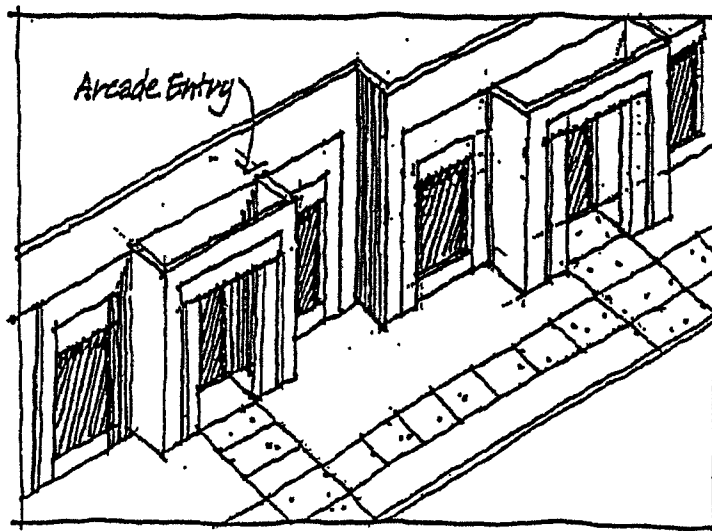
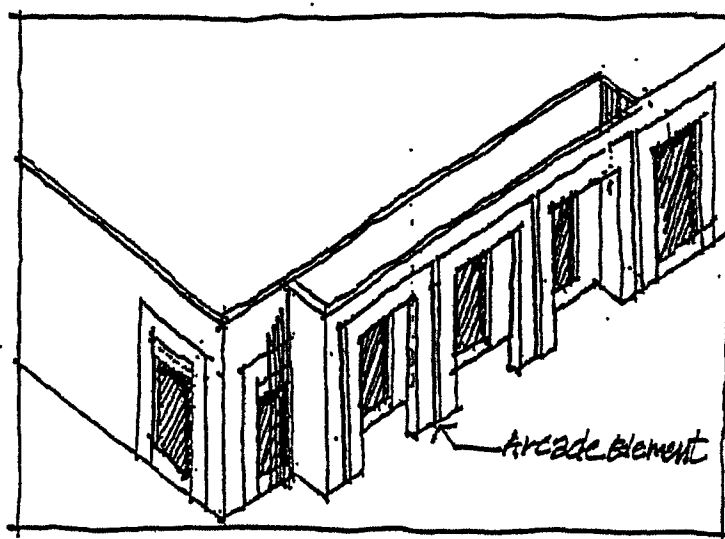


Exhibit 22
ENTRANCES



- b. The primary wall surface material is intended to provide a uniform aesthetically pleasing exterior finish. Stone veneer, painted concrete, glass curtain wall and combinations of these elements shall make up the primary building materials.
- c. Stone materials may be introduced as wall surfaces from the following stone types:
 - Limestone
 - Sandstone
 - Face brick
 - Granite
 - Slate
 - Marble

Concrete and stone materials shall have finishes and colors from the approved palette.

9. Colors and Finishes

- a. The distinctive architectural style envisioned for this specific plan relies on color and material to support its emphasis on simplistic geometric forms accented by penetrations and articulation. Base colors shall be utilized for the major interlocking forms, while accent colors and materials shall be used to define accent features, articulation and penetrations.
- b. Color shall enhance the design concept of each building.
- c. Each wall surface should have a coordinated design/color scheme.
- d. Multiple colors shall be discouraged on wall plane surfaces.
- e. Color Schemes

Color Scheme 1

| | | |
|-------------------|-------------|---------------|
| Base Wall Color | Harvest Tan | Frazer 7753M. |
| Accent Wall Color | Beach Grass | Frazer 7751W |

Color Scheme 2

| | | |
|-------------------|----------------|----------------------------|
| Base Wall Color | Raffina Basket | Sherwin Williams SW 113 |
| Accent Wall Color | Vellum | Sherwin Williams SW 116 |

Color Scheme 3

| | | |
|-----------------|--------|--------------|
| Base Wall Color | Desert | Frazer 8723M |
|-----------------|--------|--------------|

| | | |
|-------------------|-------------|-------------|
| | Tumbleweed | |
| Accent Wall Color | Pongee Tint | Fraze 8720W |

Color Scheme 4

| | | |
|-------------------|--------------|-------------|
| Base Wall Color | Bauhaus Buff | Fraze 8692W |
| Accent Wall Color | Aria Ivory | Fraze 8680W |

Color Scheme 5

| | | |
|-------------------|---------------|-----------------------------|
| Base Wall Color | Cubist Gray | Sherwin Williams SW 1022 |
| Accent Wall Color | Origami White | Sherwin Williams SW 1025 |

Color Scheme 6

| | | |
|-------------------|--------------|-----------------------------|
| Base Wall Color | Silverscreen | Sherwin Williams SW 1016 |
| Accent Wall Color | Sleek White | Sherwin Williams SW 1018 |

f. Stone Colors

- Light colored earth tones
- Natural colored stone
- Limestone
- Granite
- Marble

g. Glass

- Entry doors/window storefronts shall have clear or tinted glass that matches the overall fenestration system.
- High performance and medium performance glass shall be preferred with colored tinted glass.
- Acceptable glass colors include green, blue gray and bronze.
- Complementary glazing colors shall be used within any given planning area.

10. Design Details

- a. Detailing shall be clean, clear and straightforward. Details shall reinforce the design aesthetic of the Escondido Research and Technology Center and shall not interrupt the dominance of form, massing and planar elements.
- b. Appropriate treatment of details includes the coordination of mullions and details, the alignment

and expression of structural connections, finishes commensurate with building materials, and coordination of landscape materials.

11. Rear Elevations

Buildings shall be treated architecturally in their entirety. Visually-prominent rear elevations shall contain design elements utilized in both side and front elevations.

- a. Rear elevations shall be architecturally treated, and appropriate treatment of details shall be applied, particularly if that side of the building is visually prominent from adjacent residences, streets or within the park itself. (Exhibit 23)
- b. Multiple colors and reveal patterns should be used on long expansive planar surfaces to create rhythm.
- c. Visually-prominent loading areas that face adjacent neighborhoods shall be screened with walls or building projections. (Exhibit 24)

Architectural Design Guidelines for Planning Area 4-Hospital/Medical-Related Uses

Due to Planning Area 4's unique design requirements for a hospital and its medical-related uses and ancillary functions, the following Architectural Design Guidelines have been established to provide appropriate design strategies while ensuring compatibility with other developments within the Escondido Research and Technology Center. Creative application of the following guidelines by design professionals will lead to a distinctive yet unified part of the overall business park environment.

12. Character (Planning Area 4-Hospital/Medical-Related Uses)

- a. The architecture of Planning Area 4 will consist of cohesive, geometric forms and planes of distinct texture and color, and further articulated by rhythmic compositional elements to create scale, continuity, and focus.
- b. The character of the architecture relies on the harmony of scale, massing, rhythm, proportion, light-shadow, texture and color. Each design solution shall be evaluated based on these characteristics and their compositional success in creating a distinctive and cohesive overall development.
- c. Building forms and massing shall be articulated through use of architectural design elements including but not limited to the following:
 - Arcades
 - Parapets
 - Wall plane changes/articulation/corners
 - Plazas

Exhibit 23
REAR ELEVATIONS

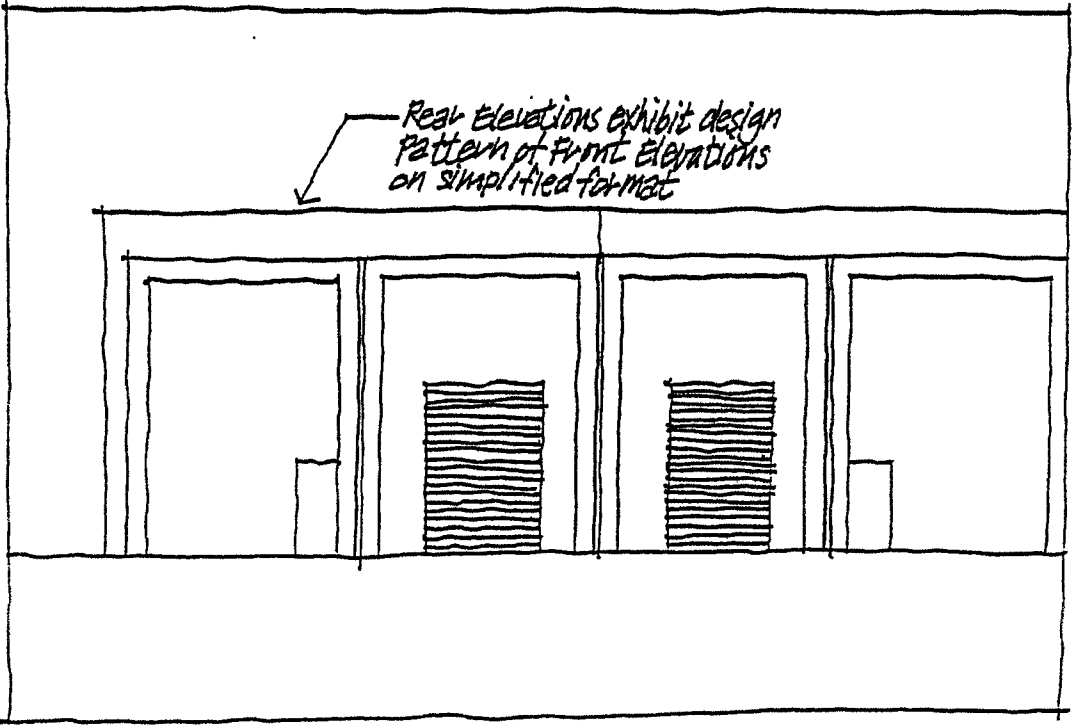
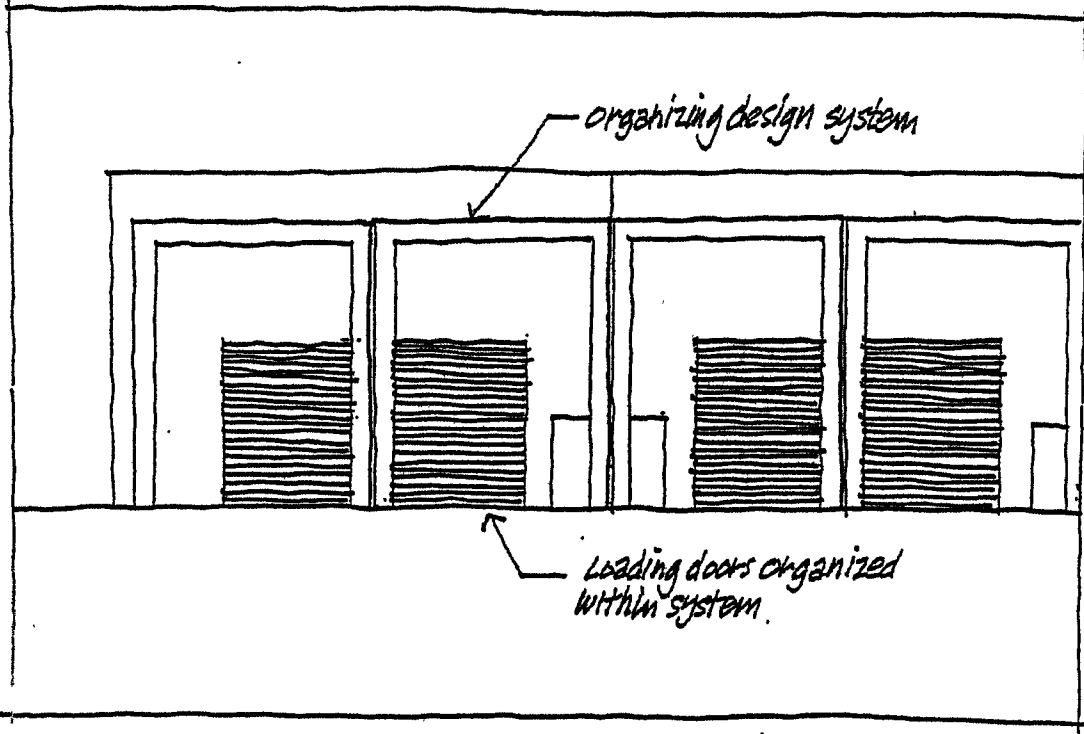
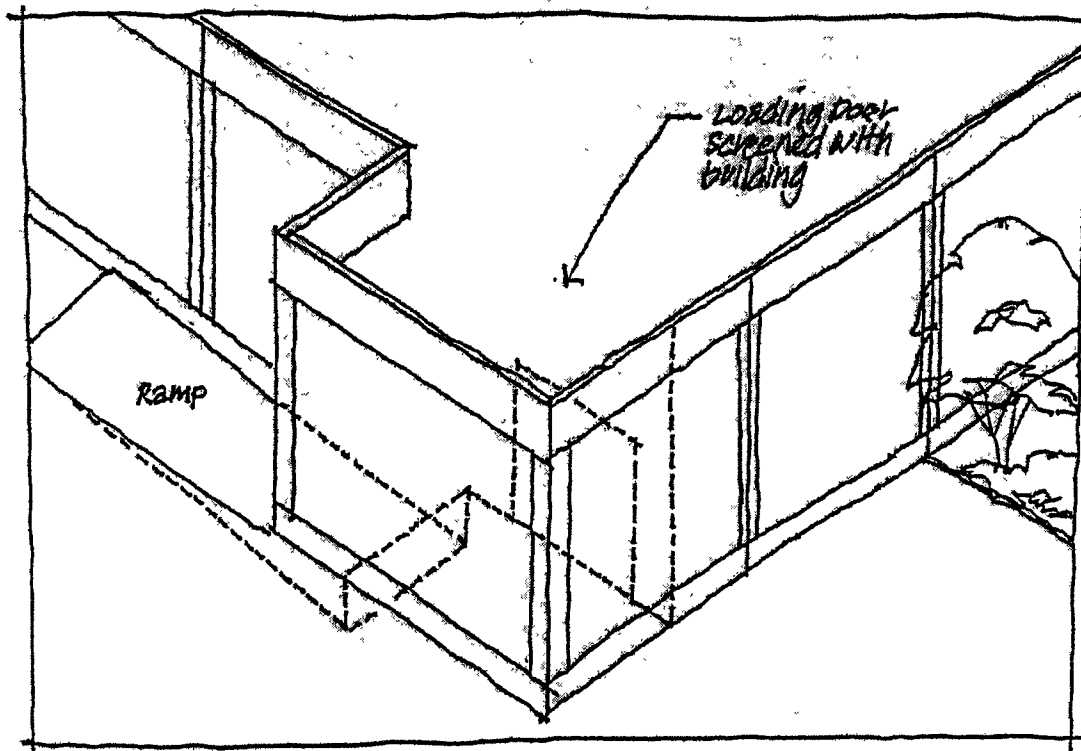


Exhibit 24
LOADING AREAS



- Color
 - Wall reveal patterns
 - Surface textures
 - Fenestration/ curtain wall system
- d. Areas of high importance or destination such as entryways or unique features shall be articulated by means of building elements, landscaping, signage, or a combination thereof.
- e. Where adjacent buildings or groups of buildings occur within a specific plan planning area, their massing relationships shall be studied and resolved in accord to enhance the unity and spatial character of the project and to ensure continuity in scale and form amongst the building clusters.
- f. Freestanding structures should maintain design continuity and be compatible in form and materials with immediately adjacent buildings. Basic architectural form, massing, composition, material and colors shall maintain a visually integrated profile over the entire planning area.
- g. All building walls shall have limited surface decoration. Instead, building walls may be perforated and penetrated to create patterns of light and shadow or articulated with fenestration and wall changes.

13. Facades (Planning Area 4-Hospital/Medical-Related Uses)

Building facades shall contain design elements that will exhibit a coordinated design approach. Some design strategies for consideration:

- a. Reveal patterns that organize openings, fenestration, and materials in horizontal and vertical wall systems.
- b. Geometric forms articulated with wall changes including penetrations, reveals and architectural elements such as arcades.
- c. Articulation and variations of roof parapets, including varied horizontal parapets, angled roof forms, and curved roof forms.
- d. Applied surface decoration shall be discouraged.

3. Fenestration and Curtain Wall (Planning Area 4-Hospital/Medical-Related Uses)

Fenestration is defined as the arrangement, division, proportion, and design of windows and doors. Curtain wall is defined as a modular system of exterior building finish consisting of opaque and glazed cladding panels. The use of fenestration and curtain wall systems shall be distinctive, functional, and contribute to providing rhythm and pattern to the wall surfaces.

4. Structure (Planning Area 4-Hospital/Medical-Related Uses)
 - a. Proportion and patterns for overall building forms may incorporate visible structural elements as part of the design.
 - b. Structural elements that are expressed as building elements such as arcades and canopies are acceptable.
5. Roof Forms (Planning Area 4-Hospital/Medical-Related Uses)
 - a. Roof lines shall be carefully designed and considered within an overall design scheme.
 - b. Varied parapet and horizontal planes height may be utilized to achieve massing goals.
 - c. Varied roof forms shall be used as organizational components that help tie together groups of buildings within a larger whole.
6. Mechanical Equipment (Planning Area 4-Hospital/Medical-Related Uses)
 - a. All exterior mechanical and electrical equipment, including HVAC, vents, stacks, storage tanks, communications antennas and satellite dishes shall typically be screened using extended building walls, parapets or other architectural screening elements. Exposed mechanical equipment on any proposed central power plant shall be minimized, and integrated with the primary structure to the extent feasible.
 - b. All ground mounted mechanical equipment shall be screened from view by means of a wall at least as high as the equipment and not less than 6-feet high and have open trellis type covers.
 - c. All screening materials, where utilized, shall be carefully considered as a major element in the overall massing of each building.
7. Building Entrances (Planning Area 4-Hospital/Medical-Related Uses)
 - a. All building entrances shall be clearly defined and coordinated with site design and landscaping to recognize the entry sequence and its visual identity.
 - b. Entry sequences are encouraged to be open, inviting spaces articulated with a design vocabulary integral to the overall building scheme.
 - c. Inappropriate entrance treatments will be discouraged.
8. Materials (Planning Area 4-Hospital/Medical-Related Uses)
 - a. It is the intention of this section to ensure the integrity and character of the project, while providing opportunity for creative design through application of a selected variety of building materials. Due to its unique programmatic function, the design materials and exterior

integration of the architecture in Planning Area 4 may vary from the other planning areas within the Escondido Research and Technology Park. However, all materials shall endeavor to be compatible with the character of the overall development. The color of any proposed central power plant shall be coordinated with the design of the exterior surface materials and be integrated with any exposed components.

- b. Materials such as stone veneer, concrete, metal panels, glass curtain wall, or combinations thereof, shall make up the primary building materials which provide a uniform, aesthetically pleasing exterior building finish.

9. Colors and Finishes (Planning Area 4-Hospital/Medical-Related Uses)

- a. The architectural style envisioned for the hospital and other medical uses and ancillary functions will be highlighted by the use of distinctive color schemes and finishes of the building materials. Coordinated color schemes shall be established with base colors for the major architectural forms, and accent colors and materials for defining accent features, articulation and penetrations.
- b. Color schemes shall enhance each building's design concept.
- c. Glass (glazing):
 - Entry doors, windows, and storefronts shall have clear or tinted glass that coordinate with the overall fenestration and curtain wall system.
 - High performance and medium performance glass shall be preferred with colored tinted glass.
 - Acceptable glass colors include green, blue, gray, bronze, and white (translucent).

10. Design Details (Planning Area 4-Hospital/Medical-Related Uses)

- a. Detailing shall be clean, clear, and straightforward, without detracting from the overall design aesthetic of the Escondido Research and Technology Center.
- b. Appropriate detail treatments include, among other things, the coordination of mullions and fenestration, the alignment and expression of structural connections, finishes commensurate with building materials, and coordination of landscape materials.

11. Rear Elevations (Planning Area 4-Hospital/Medical-Related Uses)

Buildings shall be considered architecturally in their entirety and from all faces and orientations.

- a. Rear elevations shall be architecturally treated and detailed, particularly if that side of the building is visually prominent from adjacent residences, streets or within the planning area itself.
- b. The use of colors and reveal patterns is encouraged on long expansive planar surfaces to create rhythm.

- c. Visually-prominent loading areas that face adjacent neighborhoods shall be screened by means of building and/or landscape design strategies.

F. LANDSCAPE STANDARDS

1. Objective

- a. The objective of the landscape architecture for the Escondido Research and Technology Center will be to create a positive environmental setting that is visually pleasing, for the proposed business park activities. Landscapes will screen or enhance views as desirable, accent or buffer new architecture, orient vehicles and pedestrians, and provide public recreational opportunities. The intent of the landscape architecture is to integrate the project into the existing community fabric, and to enhance Escondido's sense of place as a business environment. The composition of the landscape will be purposefully simple while giving the project a visual organizational element.

The following topics are critical elements of the landscape program:

- Creation of continuity throughout the project;
- Buffering of and transition to the existing adjacent residential development;
- Utilization of drought tolerant vegetation whenever feasible, to allow for transition from adjacent open spaces;
- Restoration of wetland vegetation in mitigation for impacts to jurisdictional waters. Buffering of the wetlands with native sage scrub habitats.
- Screening of visually-prominent outdoor storage and maintenance facilities;
- Provision of a multi-use trail system and trailhead, with convenient parking;
- Definition of a hierarchy of easily identifiable vehicular and pedestrian circulation systems within the project; and
- Establishment of an immediately recognizable level of quality.

2. General Landscape Concept (Exhibit 25)

- a. The landscape architecture for the Escondido Research and Technology Center will create a simple and elegant environment that fully integrates new project architectural base for the project. The positive visual presence of the project will increase as the landscape matures.
- b. The proposed landscape is responsive to biological issues, to the functional requirements of quality urban living, and to the aesthetic sensibilities that enhance the daily experience of the citizens of Escondido.
- c. Rocks and rock groupings may be utilized in appropriate areas for landscaping accent and to provide an appearance consistent with the natural environment.
- d. Plant materials in and around riparian and wetland areas shall conform with all measures identified in the project EIR and required by applicable permits and agreements.

3. Residential Buffering (Exhibits 26 and 27)

- a. Planning Areas 4, 5, 6 and 7 are proposed adjacent to residentially zoned properties. These Planning Areas shall, in addition to all other requirements, provide a buffer treatment to ensure compatibility with the residential area.
- b. The purpose of the buffer is to soften and screen the Escondido Research and Technology Center from nearby residential neighbors. This will be accomplished through extensive setback requirements, grade separations, 10' high screening berms, and vegetation plantings separating the two uses. Finish grading of the buffer slope will be undulating, varying from 2:1 to 3:1 slope gradient, to mimic natural terrain characteristics. Drought-tolerant vegetation, including some local, native plants will be utilized to compliment the natural coastal sage scrub habitat that once dominated the area. The buffer vegetation will be fully planted and irrigated in conjunction with the first phase of development.
- c. A landscape buffer of at least 160-feet from the property line will be provided for structures within Planning Areas 4, 5, and 6. A 10-foot high berm and building setbacks shall provide effective screening of structures as viewed from the adjacent residential areas.
- d. The residential buffer will be planted primarily with drought tolerant landscaping to form a vegetative buffer that screens adjacent residential areas. Vegetation will be selected to protect residential privacy, while enhancing the rural character of the area. The tree canopy will consist of species such as; coast live oak, Engelmann oak, California pepper and Coral tree. Tall shrubs will include species such as: Strawberry tree, California lilac, Toyon, and Pride of Madeira. Shrubs will include species such as: rockrose, wildrose, and California fuschia. Planning Area 4 may have a native and naturalize plant palette as illustrated in Residential Buffering (Drought Tolerant Landscaping) in Planning Area 4 below. Tree planting and understory plantings should mimic native plantings. Trees outside of the streetscape should not be uniformly and regularly spaced.

Tree size and quantity shall meet or exceed the standards specified in Article 62 of the City's Landscape Ordinance. Notwithstanding the foregoing, 20% of the above described trees shall be 24-inch box size. In addition, an informal row of evergreen trees shall be utilized as a visual screen from adjoining residences in locations where the landform and above-described residential buffer fail to adequately screen commercial buildings from residential views. Ground covers shall include one gallon plants, flatted material, and hydroseed as suitable to produce complete cover of the ground surface, and to control possible erosion.

4. Project Entry

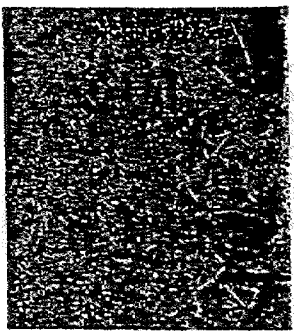
- a. The proposed project entry monuments are illustrated on the Conceptual Landscape Master Plan (Exhibit 25). The entry monuments will be set into a "rock garden" landscape that utilizes rock formations, and low profile xeriscape plantings. One or more stylized water feature(s) or natural-appearing pools will be integrated into the entry monument, providing a focal point for the entry sequence. Entry features will be scaled to integrate with the proposed Citracado Parkway greenbelt landscaping.
- b. Citrus and avocado trees will be planted along the northern manufactured slope of the project to resemble the groves once dominant in the Escondido area. Trees shall be a minimum 15

Exhibit 25a
**PLANT
 MATERIALS**

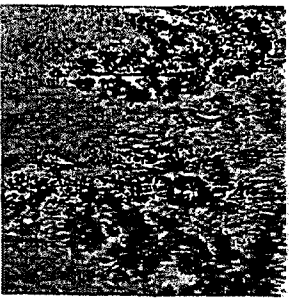
TREES



WALNUT TREE



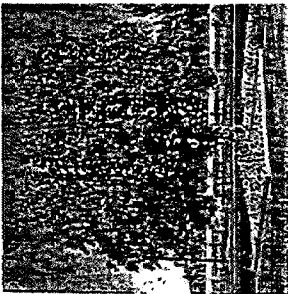
JACARANDA



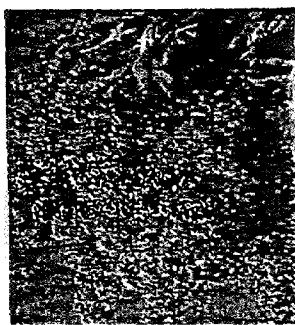
CANARY ISLAND PINE



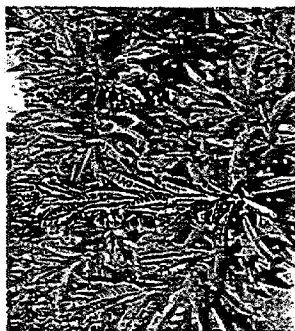
CITRUS



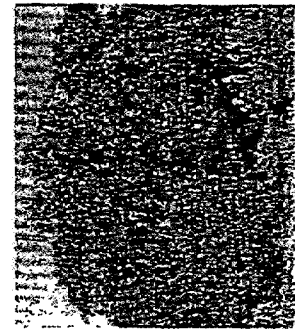
COAST LIVE OAK



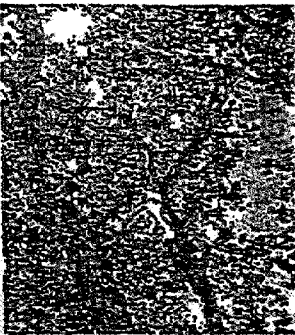
RAPE STRAW



BROWN LOCUST



TOYON

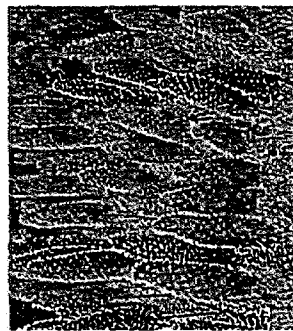


LONG LEAF TREE



BEECHMAN OAK

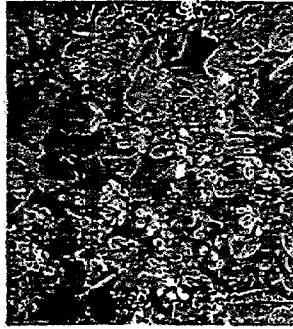
SHRUBS



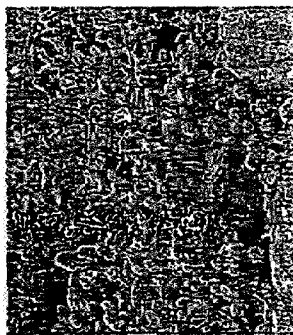
TRICE DE MADERA



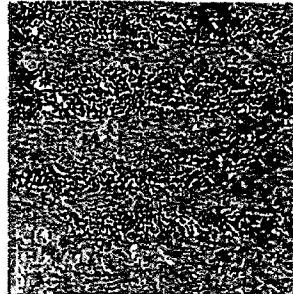
LOTORASTIK



INDIAN HAWTHORNE



CEANOPIUS

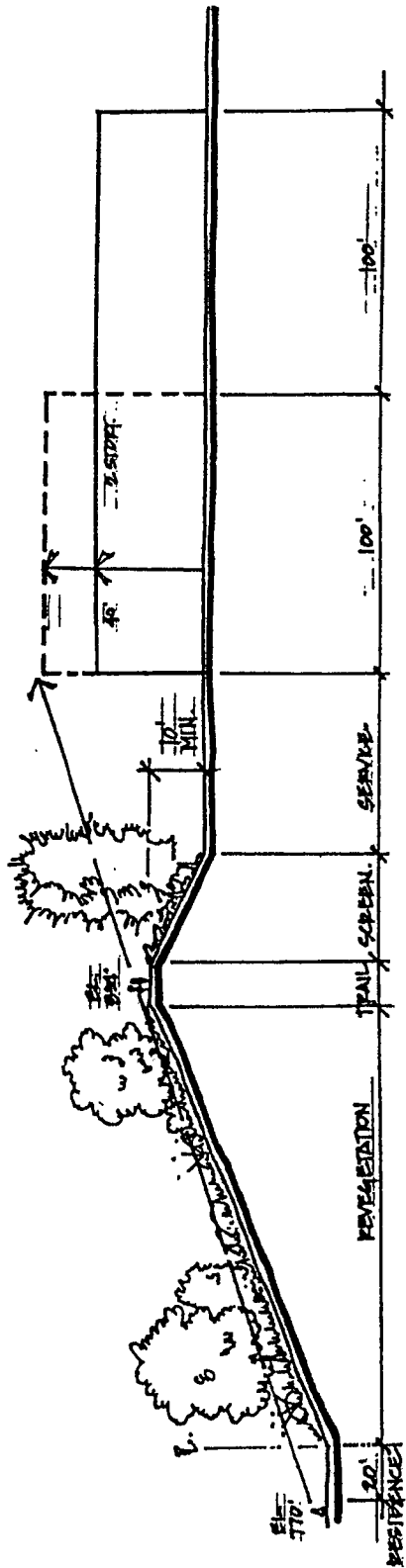


ROSEMOSE

PLANT MATERIALS

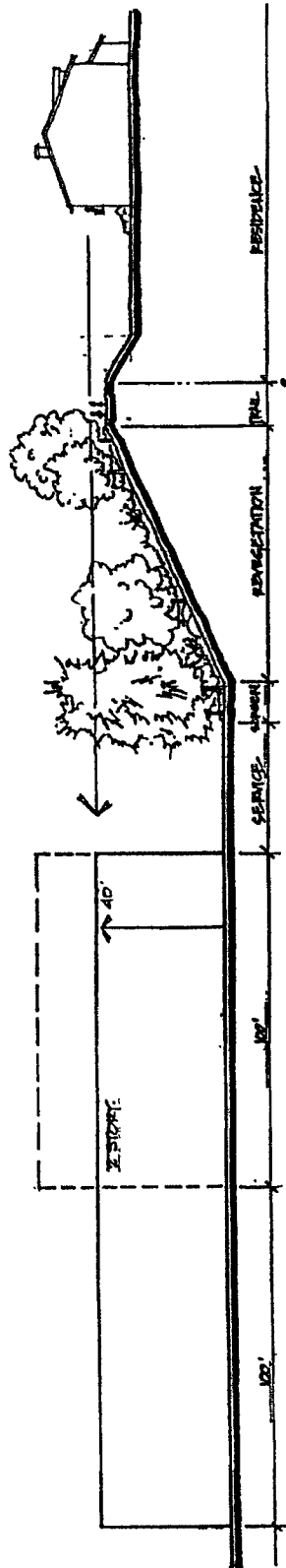
ESCONDIDO RESEARCH & TECHNOLOGY CENTER

Exhibit 26
RESIDENTIAL BUFFERING PA 5



NO SCALE

Exhibit 27
RESIDENTIAL BUFFERING PA 7 & 10



NO SCALE

gallon size and planted no more than 20 feet on center. Provisions for maintenance shall be specified in the project CC&R's.

5. Citracado Parkway and Slopes (Exhibit 28)

- a. Citracado Parkway is proposed as a collector street per City of Escondido design standards, except with a designed 82 foot travel width within an 110 foot ROW, corresponding to major road design standards. To provide a more generous entry landscaping experience, the ROW is proposed to be further increased 20 feet, resulting in a ROW of 130 feet in width. This will result in a parkway planting area that is expanded an additional 20 feet. This additional 20 feet of planting area makes possible the inclusion of a double row of street trees on each side of the parkway. To better utilize this expanded streetscape experience, meandering sidewalks are proposed to course between the double row of street trees on each side of the parkway. Primary street tree plantings of London plane tree (*Platanus acerifolia*) or similar species, will be spaced at 30 to 40 feet on center, with a maximum of 12 feet between rows. Secondary street trees may also be utilized to accent the primary tree plantings. A hybrid fescue turf will complete the simple but compelling parkway planting.
- b. Citracado Parkway slopes will form both valley and ridge-like conditions, expanding the parkway into a significant greenbelt amenity. The goal of these plantings is to establish continuity to the improved landscape, to provide additional project screening, to frame views, and to direct user circulation. Plant species are selected for their groomed appearance, and their low water, low maintenance needs. Primary and secondary trees for screening and interest will include species such as: Jacaranda, Coast live oak, Canary Island pine, and Strawberry tree. The shrub layer will include species such as: Toyon, Pride of Madeira, rockrose, and agave. Ground covers include species such as manzanita, lantana, rosemary, and statice. The exception to this may be the hospital and medical uses in Planning Area 4. Due to the public nature of these facilities, the landscape may differentiate itself as a unique but cohesive portion of ERTC.

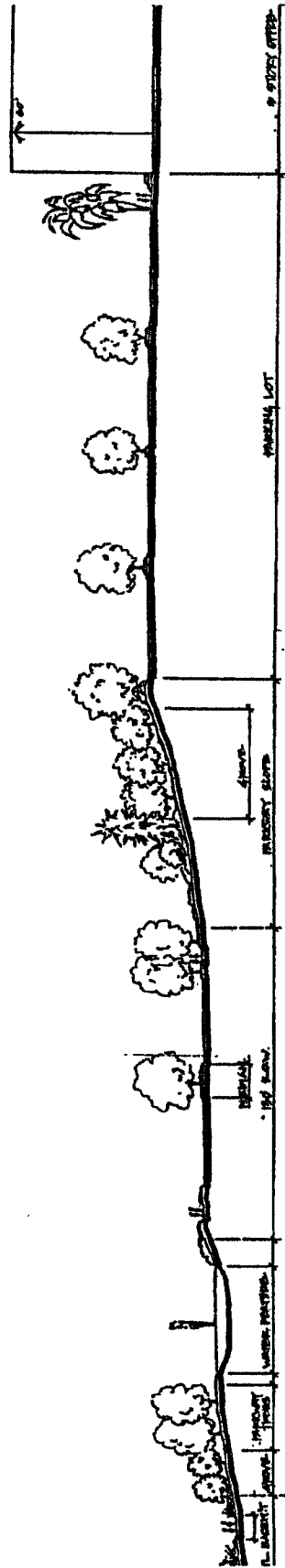
6. Slopes as Vegetative Screens

- a. Certain westerly and easterly slopes within and near Planning Areas 1 and 2 shall utilize a multi-layered landscape screen of the proposed facilities to soften the views of residential neighborhoods to the west. These screens must also conform to special requirements, such as utility easement standards. In some cases, including the eastern pad boundaries, tall, dense plant material shall be utilized to screen structures from distant vantage points. In other cases relatively short plant material is utilized because of special height restriction requirements. What these slopes share in common is their preeminent requirement as vegetative screens. Plant materials to be utilized are those that require low water and low maintenance.

7. Planning Area Landscapes

- a. Proposed individual planning area entry monuments are illustrated on the Conceptual Landscape Master Plan. Landscape theme and accent plantings shall be used to visually reinforce identification elements.

Exhibit 28 STREET LANDSCAPING



- b. Individual planning area landscapes will be responsive to the particular needs and goals of its facilities and its users. All landscapes will provide project signage, internal streetscapes, facility landscaping, outdoor amenities, screening, and parking lot landscaping. Internal streetscapes will provide organization, giving directional assistance to users. Internal streetscapes will provide organization through the use of a theme tree that gives directional assistance to users. Major internal drive entrances will be generously tree lined, with prominent use of theme trees, such as Coral tree, Coast live oak, Magnolia, Weeping willow and Jacaranda. Street trees for Planning Area 4 are listed below in the Planning Area 4 Individual Site Landscape plant list. Automobile parking will be softened, screened and shaded with trees and low shrubs installed according to City parking lot design standards. All shrub plantings will be low growing to allow for clear vehicular and pedestrian visibility.
- c. Rocks shall be utilized in the landscaping palette to provide a connection with the natural environment.

8. Planning Area 4 Landscape

The hospital and medical-related uses in Planning Area 4 have unique design requirements: the landscape for Planning Area 4 may be designed to contribute to sustainable practices. Sustainable practices for landscape are often achieved through the use of native and naturalized drought resistant plantings, restoration of native habitat, use of landscape areas for treating storm water run-off, and use of sustainable materials. Because of this, the landscape may have a different appearance and plant palette than the rest of the Escondido Research and Technology Center. Planting palettes for Planning Area 4 are indicated to illustrate a native and naturalized plant list.

9. Individual Site Landscaping

- a. All individual facility landscapes will conform to City of Escondido "Article 62, Landscape Standards".
- b. Landscape architecture for the individual building sites shall emphasize simplicity of palette and design character. An 'Architectural' style is required. Tree masses shall support the architectural statements and shall work primarily to extend the building lines. Shrub masses shall be designed in layers that create a second level of horizontal emphasis. Color shall be used in masses of individual colors that are in support of the building colors. Numbers of different plant species used on an individual site shall be kept to a minimum to reinforce the simplicity desired in the overall design. Refer to specific development standards and regulations for individual landscape Planning Area landscape requirements.

10. Screening

- a. Trash enclosures, transformer and utility enclosure walls are to be planted with shrubs and vines to soften the object being screened. These plantings shall give emphasis to the wall planes through a consistent linear spacing at the time of installation.

11. Irrigation

- a. A permanent automatic underground irrigation system in accordance with Article 62 of the Escondido Zoning Code shall be installed in all landscaped areas, and so designed to insure that all landscape vegetation has adequate moisture to insure its viability.
- b. If available, an irrigation system utilizing reclaimed water will be designed for all landscaped areas in the event that a future reclaimed water source becomes available. These systems will be designed to meet the requirements for the Rules and Regulations for Reclaimed Water Facilities.
- c. Irrigation systems will be designed utilizing xeriscape in such a way that careful consideration is given with regards to plant material and the various watering requirements which each irrigation zone demands.

12. Undeveloped Future Use Areas

- a. Undeveloped site areas designated for future use and expansion should be stabilized as soon as possible, maintained in a weed and debris-free condition, and shall either be landscaped or provided with all erosion control measures necessary to meet local Regional Water Quality Control Board permit requirements. Graded slope areas will also require interim erosion control measures and shall be permanently landscaped as soon as possible.

13. Landscape Maintenance

- a. All landscape shall be designed for reasonable maintenance and low water use. Landscaped areas shall be maintained in a quality manner at all times.
- b. Owners of any lot, including the business park owner's association shall have the duty and responsibility, at their sole cost and expense, to keep that part of the property so owned or occupied, including, but not limited to buildings, improvements, grounds, utility easements, or drainage easements, or other rights-of-way incidental thereto, in a well-maintained, safe, clean and attractive condition at all times.

14. Plant Selection

- a. Plant materials for each individual site within the specific plan shall be selected or be compatible with the following list.

Residential Buffering (Drought Tolerant Landscaping)

Trees

- | | |
|---------------------|--------------------|
| Acacia baileyana | Bailey Acacia |
| Aesculus California | California buckeye |
| Erythrina caffra | Coral tree |
| Quercus agrifolia | Coast live oak |
| Quercus engelmannii | Engelmann oak |

| | |
|--------------------|-------------------|
| Pistacia chinensis | Chinese pistache |
| Schinus molle | California pepper |
| Pinus brutia | Calabrian pine |

Shrubs

| | |
|------------------------------|-----------------------------|
| Arbutus unedo | Strawberry tree |
| Ceanothus cultivars | California lilac |
| Cercis occidentalis | Western redbud |
| Cistus spp. | Rockrose |
| Echiurn fastuosum | Pride of Madeira |
| Fremontodendron californicum | Flannel bush |
| Heteromeles arbutifolia | Toyon |
| Leptospermum scoparium | New Zealand <i>tee</i> tree |
| Malacothamnus fasciculatus | Bush mallow |
| Prunus illicifolia | Holly-leaf cherry |
| Rosa californica | California wild rose |
| Salvia spp. | Sage |

Perennials

| | |
|---------------------------|---------------------|
| Sisyrinchium urn bell urn | Blue-eyed grass |
| Gnaphalium bicolor | Bicolor cudweed |
| Nassella pulchra | Purple needle grass |

Ground Covers

| | |
|---------------------------|--------------------|
| Arcotostaphylos cultivars | Manzanita |
| Baccharis 'Twin peaks' | Dwarf coyote brush |
| Lantana montevidensis | Trailing lantana |
| Lonicera j. 'Halliana' | Hall's honeysuckle |
| Myoporum sp. | Myoporum |
| Zauschneria spp. | California fuschia |

Residential Buffering (Drought Tolerant Landscaping) in Planning Area 4 such as:

Trees

| | |
|----------------------------|----------------------------|
| <u>Aesculus California</u> | <u>California buckeye</u> |
| <u>Quercus spp.</u> | <u>Oaks</u> |
| <u>Schinus molle</u> | <u>California pepper</u> |
| <u>Pinus brutia</u> | <u>Calabrian pine</u> |
| <u>Platanus racemosa</u> | <u>California Sycamore</u> |

Shrubs

| | |
|----------------------------|-------------------------|
| <u>Arbutus unedo</u> | <u>Strawberry tree</u> |
| <u>Baccharis spp</u> | <u>Coyote brush</u> |
| <u>Ceanothus cultivars</u> | <u>California lilac</u> |

| | |
|--------------------------------|-------------------------------|
| <u>Cercis occidentalis</u> | <u>Western redbud</u> |
| <u>Heteromeles arbutifolia</u> | <u>Toyon</u> |
| <u>Miscanthus spp.</u> | <u>Miscanthus species</u> |
| <u>Mulenbergia rigens</u> | <u>Deer Grass</u> |
| <u>Prunus caroliniana</u> | <u>Carolina laurel cherry</u> |
| <u>Prunus illicifolia</u> | <u>Holly-leaf cherry</u> |
| <u>Rhamnus californica</u> | <u>Coffeeberry</u> |
| <u>Salvia spp.</u> | <u>Sage</u> |

Perennials

| | |
|---------------------------|----------------------------|
| <u>Gnaphalium bicolor</u> | <u>Bicolor cudweed</u> |
| <u>Nassella pulchra</u> | <u>Purple needle grass</u> |

Ground Covers

| | |
|---------------------------------|---------------------------|
| <u>Arcotstaphylos cultivars</u> | <u>Manzanita</u> |
| <u>Baccharis 'Twin peaks'</u> | <u>Dwarf coyote brush</u> |
| <u>Ceanothus cultivars</u> | <u>California lilac</u> |
| <u>Zauschneria spp.</u> | <u>California fuschia</u> |

Project EntryTrees

| | |
|-----------------------|--------------------|
| Pinus canariensis | Canary Island pine |
| Pinus edulis | Pinion pine |
| Platanus x acerifolia | London plane tree |
| Quercus agrifolia | Coast live oak |
| | Avocado tree |
| Citrus (sp.) | Orange tree |
| Citrus (sp.) | Lemon tree |

Shrubs/ Shrublets

| | |
|--------------------------|-----------------------|
| Cistus slaviifolius | Sageleaf rockrose |
| Cotoneaster dammeri | Bearberry cotoneaster |
| Helianthemum nummularium | Sunrose |
| Heteromeles arbutifolia | Toyon |
| Hypericum Cori | St. Johnswort |
| Juniperus sp. | Juniper |
| Pinus mugo mugo | Mugho pine |
| Potentilla fruitcosa | Shrub potentilla |

Perennials

| | |
|--------------------|----------------|
| Achillea tomentosa | Woolly yarrow |
| Aeonium urbicum | ncn |
| Armeria maritima | thrift |
| Echeveria sp. | Hen and chicks |

Potentilla atrosanguinea
Sedum sp.
Sisyrinchium bellum

Potentilla
Stonecrop
Blue-eyed grass

Citricado Parkway

Trees

Platanus x acerifolia 'Columbia'

London plane tree

Ground Cover

Fescue blend

Turf

Streetscape & Ornamental Slopes

Trees

Arbutus unedo
Cinnamomum camphora
Erythrina caffra
Geijera parviflora
Jacaranda mimosifolia
Melaleuca nesophila
Pinus brutia
Pinus canariensis
Pistacia chinensis
Quercus agrifolia

Strawberry tree
Camphor tree
Naked coral
Australian willow
Jacaranda
Pink melaleuca
Calabrian pine
Canary Island pine
Chinese pistache
Coast live oak

Shrubs

Agave Americana
Cistus purpureus
Cotoneaster lacteus
Echium fatuosum
Heteromeles arbutifolia
Leptospermum scoparium
Tecoma capensis

ncn
Orchid rockrose
ncn
Pride of Madeira
Toyon
New Zealand tea tree
Cape honeysuckle

Ground Cover

Acacia redolens
Arctostaphylos 'Emerald Carpet'
Baccharis p. 'Twin Peaks'
Delosperma alba
Gazania leucolaena
Lantana montevidensis
Limonium perezii
Myoporum parvifolium
Rosmarinus o. 'Huntington Carpet'

ncn
Manzanita
Dwarf coyote brush
White trailing iceplant
Trailing gazania
Trailing lantana
Stantice
ncn
Rosemary

Slopes as Vegetative Screens

Trees

| | |
|---------------------|--------------------|
| Arbutus unedo | Strawberry tree |
| Geijera parviflora | Australian willow |
| Melaleuca nesophila | Pink melaleuca |
| Pinus brutia | Calabrian pine |
| Pinus canariensis | Canary Island pine |
| Pistacia chinensis | Chinese pistache |
| Quercus agrifolia | Coast live oak |

Shrubs

| | |
|-------------------------|----------------------|
| Cistus purpureus | Orchid rockrose |
| Cotoneaster lacteus | ncn |
| Echium fatuosum | Pride of Madeira |
| Heteromeles arbutifolia | Toyon |
| Leptospermum scoparium | New Zealand tea tree |
| Tecoma capensis | Cape honeysuckle |

Ground Cover

| | |
|---------------------------|-------------------------|
| Acacia redolens | ncn |
| Baccharis p. 'Twin Peaks' | Dwarf coyote brush |
| Delosperma alba | White trailing iceplant |
| Gazania leucolaena | Trailing gazania |
| Limonium perezii | Static |
| Myoporum parvifolium | ncn |

Planning Area and Individual Site LandscapingTrees

| | |
|---------------------------|----------------------------|
| Cupaniopsis anacardioides | Carrotwood |
| Eriobotrya deflexa | Bronze loquat |
| Lagerstroemia indica | Crape myrtle (entry aisle) |
| Lophostemon confertus | Brisbane box |
| Pinus canariensis | Canary Island pine |
| Podocarpus gracilior | Fern pine |

Shrubs

| | |
|--------------------------------|------------------|
| Aeonium arboretum | ncn |
| Agave attenuate | ncn |
| Escallonia 'Pradesii' | Escallonia |
| Euryops pectinatis | ncn |
| Phormium hybrids | Flax |
| Phormium tenax | New Zealand flax |
| Rhaphiolepis 'Majestic Beauty' | Indian hawthorne |
| Rhaphiolepis indica 'Clara' | Indian hawthorne |

Ground Cover

Agapanthus africanus
Hemerocalis hyds.

Lily of the Nile
Daylily

Vines

Clytostoma callistegioides
Distictis buccinatoria
Ficus pumila

Violet trumpet vine
Blood-red trumpet vine
Creeping fig

Planning Area and Individual Site Landscaping in Planning Area 4 such as:

Trees

| | |
|--------------------------------|----------------------------|
| <u>Fraxinus spp.</u> | <u>Ash species</u> |
| <u>Lagerstroemia indica</u> | <u>Crape myrtle</u> |
| <u>Pinus brutia</u> | <u>Calabrian pine</u> |
| <u>Pinus torreyana</u> | <u>Torrey Pine</u> |
| <u>Platanus racemosa</u> | <u>California Sycamore</u> |
| <u>Populus nigra 'Italica'</u> | <u>Lombardy Poplar</u> |
| <u>Quercus spp</u> | <u>Oak</u> |

Shrubs

| | |
|------------------------------|-------------------------------|
| <u>Ceanothus spp.</u> | <u>California lilac</u> |
| <u>Escallonia 'Pradesii'</u> | <u>Escallonia</u> |
| <u>Prunus caroliniana</u> | <u>Carolina laurel cherry</u> |
| <u>Miscanthus spp.</u> | <u>Miscanthus</u> |
| <u>Muelenbergia rigens</u> | <u>Deer Grass</u> |
| <u>Myrtus communis</u> | <u>Myrtle</u> |
| <u>Salvia spp</u> | <u>Sage</u> |
| <u>Carex spp.</u> | <u>Sedge</u> |

Ground Cover

| | |
|--|--------------------------------|
| <u>Carex glauca</u> | <u>Blue Carex</u> |
| <u>Carex pansa</u> | <u>California meadow grass</u> |
| <u>Hemerocalis hyds.</u> | <u>Daylily</u> |
| <u>Rosmarinus o. 'Huntington Carpet'</u> | <u>Rosemary</u> |
| <u>Senecio mandraliscae</u> | <u>NCN</u> |
| <u>Trachelospermum jasminoides</u> | <u>Star Jasmine</u> |
| <u>Vinca minor</u> | <u>Periwinkle</u> |

Vines

| | |
|------------------------------------|-------------------------------|
| <u>Clytostoma callistegioides</u> | <u>Violet trumpet vine</u> |
| <u>Distictis buccinatoria</u> | <u>Blood-red trumpet vine</u> |
| <u>Ficus pumila</u> | <u>Creeping fig</u> |
| <u>Parthenocissus tricuspidata</u> | <u>English Ivy</u> |

INERT GROUND COVER SUCH AS:

| <u>Botanical Name</u> | <u>Common Name</u> |
|-----------------------|----------------------------|
| Mulch | Nitrolized Shredded Mulch |
| Pea Gravel | Brown/Black 1/4" Mixture |
| Black Beach Pebble | 1" Wide Smooth Flat Stones |
| <u>Cobble Mulch</u> | <u>4" – 8"</u> |
| <u>Gravel Mulch</u> | <u>3/4" Mixture</u> |

G. COMMUNITY MULTI -USE TRAIL

A multi-use trail will be provided which meanders the circumference of the specific plan area. This trail is intended for general recreational use. A staging area is located on the northern end of Planning Area 5. This staging area will include several parking spaces (which may be shared use with the business park uses), and an information kiosk if desired by the developer. The trail(s) meander through the buffer areas along the western boundaries of Planning Areas 4, 5, 6 and 7. On Planning Areas 1 and 2, the trail will either meander within the SDG&E easement, or alternatively parallel Citracado Parkway. The location of the trail shall not conflict with any biological mitigation requirements and shall be designed to minimize direct overlooking of adjacent residential properties through the installation of mature landscaping that provides visual screening.

The nature trail will be constructed at a nominal 12-foot in width, and will avoid stairs or switchbacks except in limited locations where elevation gain in a short distance is necessary. The community multi-use trail program alignment is shown on Exhibit 29 and also on the ERTC vesting tentative map.

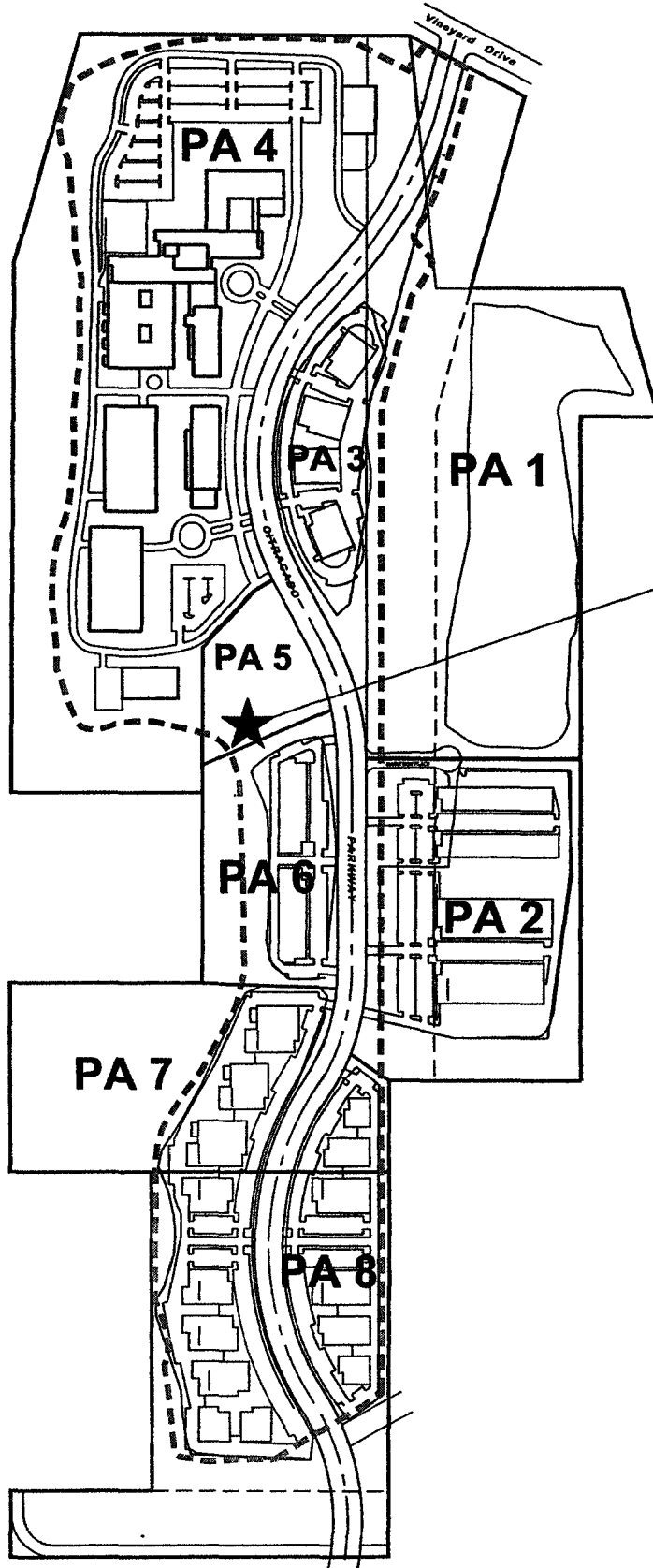
H. GRADING AND EROSION CONTROL POLICIES

The intent of this section of the specific plan is to establish a framework for landform modification utilizing those techniques for grading and erosion control which combine a high degree of functionality and support the overall intent of the specific plan. Site specific grading regulations are included in this specific plan, the intent of which is to minimize the visual impact of visible slopes where viewed from offsite residential areas, provide for more natural appearing manufactured slopes, and to minimize grading quantities and provide for stable slopes and building pads. All preliminary and final grading plans shall be prepared in accordance with the Escondido Grading Ordinance except as modified herein.

Due to the unique hillside terrain encountered in much of the specific plan area, modified development standards for perimeter and internal slope heights, landscaping and grading techniques shall be applied. The following grading techniques shall be incorporated for all manufactured slopes:

1. All permanent manufactured fill slope banks shall be constructed at a gradient of not greater than 2:1 (horizontal to vertical) unless the project civil and/ or geotechnical engineer can certify slope stability for any cut slope greater than 2:1. Cut slopes shall not exceed 1:1 gradient. Exceptions may be made in the case of rock or natural outcroppings through the City's Grading Exemption process. Said documentation shall be reviewed and approved concurrently with the vesting tentative subdivision map.
2. Heights of cut and fill slopes or the requirement for benching and terrace drains (if any) shall be per the recommendations of the project soils and geotechnical engineer. However, unless

Exhibit 29 COMMUNITY MULTI-USE TRAILS



Nature Trail
Staging Area /
Parking Lot

LEGEND

----- Multi-Use Trail

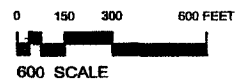
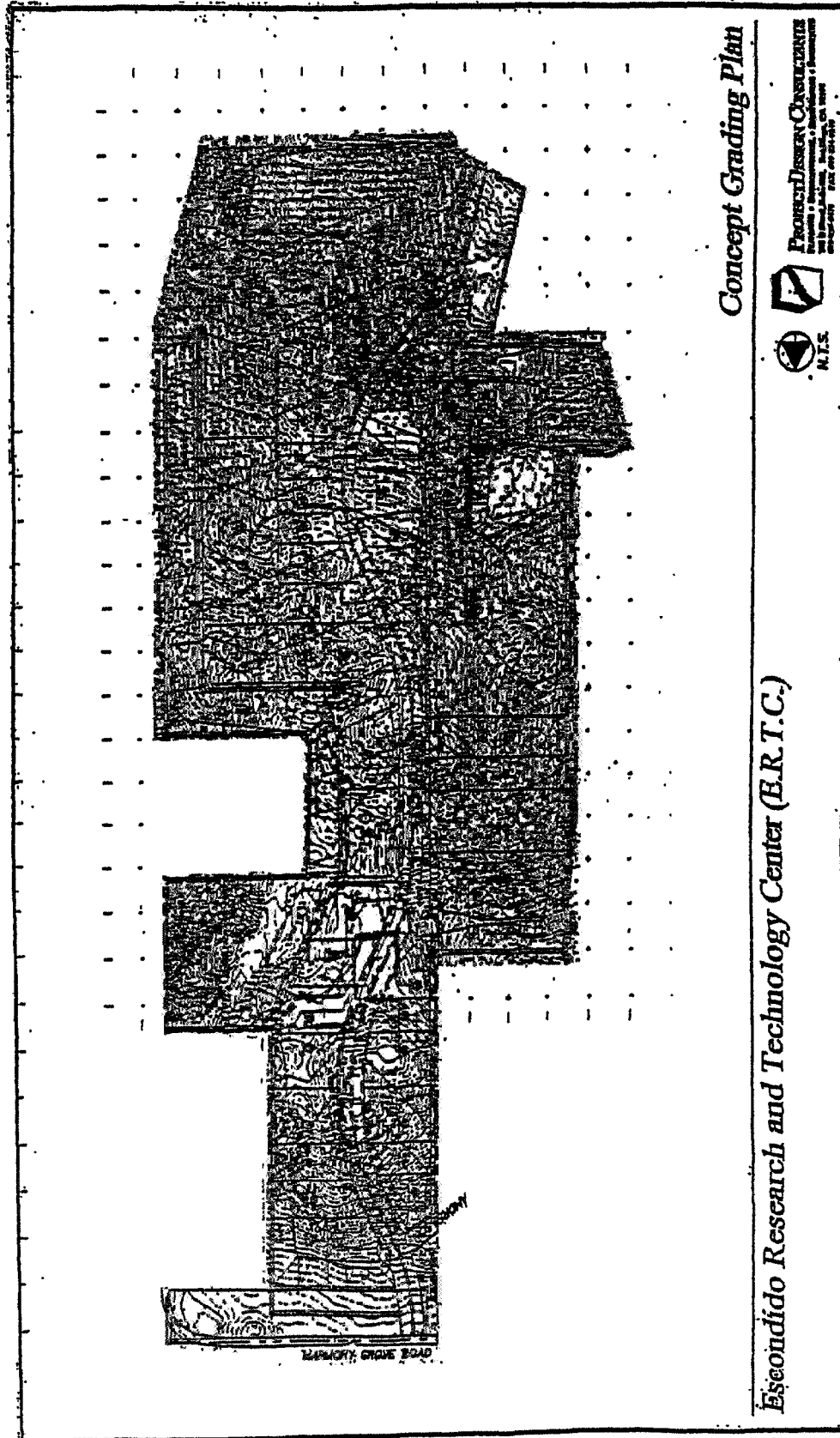


Exhibit 30
CONCEPT GRADING PLAN



revised by the soils engineer, the following standards and specifications shall be used in grading design and implementation;

- a. Manufactured slopes not exceeding 110-feet in height do not require benching, and;
 - b. Suitable access shall be provided to permit proper cleaning and maintenance of benches.
3. Grading operations shall not result in substantial damage to, or alteration of significant permanent natural resource areas, wildlife habitats or native vegetation areas, which are designated by the vesting tentative subdivision map to be preserved.
 4. Exposed manufactured slopes shall be naturalized by the use of contour grading to approximate natural slopes. West-facing, exposed slopes in excess of 20 feet vertical feet shall be rounded at the top and toe. To the extent feasible, exposed manufactured slopes in excess of 30-feet along the western edge of the project shall undulate with varying slope gradients.
 5. The application for any grading permit must provide assurance to the City Engineer that manufactured slope banks will be properly landscaped and that the landscape will be maintained by either the developer, individual property owners, or public facilities financing district, if applicable.
 6. Mass grading of Planning Areas 1 through 8 shall be conducted in a single phase, however issuance of individual grading and building permits will be made upon certification of individual building pads.
 7. Active construction areas shall be watered to reduce fugitive dust and monitored to ensure construction equipment contains required emission control equipment and utilizes low sulfur diesel fuel. Construction equipment shall also be monitored to ensure conformance with required noise mitigation requirements.
 8. Prior to issuance of a grading permit, the project applicant will present a letter to the City of Escondido indicating that a qualified paleontologist has been retained to implement a monitoring program for potential paleontological resources. The paleontologist shall be present at any pregrading meetings and must be onsite during the original grading of highly-sensitive areas onsite. If fossil remains are discovered, they would be collected, cleaned, sorted and catalogued, and deposited in a scientific institution with paleontological collections that are available to qualified individuals. Representatives of local Native American groups shall be consulted and permitted to observe grading operations should any potentially significant resources be identified. Upon completion of the paleontological resource program, the paleontologist would document the results of the program and submit the results with a certificate of completion to the City of Escondido. The certificate of completion of the paleontological report would be filed directly after the monitoring program has been completed, and must be approved prior to final inspection of grading.

If a subsequent grading permit is requested for an area within the specific plan for which a Certificate of Exemption has been issued the applicant shall so state on the proposed grading plan. The City of Escondido shall not require an additional paleontological report unless the

first monitoring program identifies significant resources.

I. BLASTING

Large areas of non-rippable rock exist within the limits of the project boundaries. A blasting program will be established by the master developer and approved by the City prior to and executed concurrent with the vesting tentative subdivision map. A brief outline of the elements of the program is as follows:

1. The developer and a third-party bonded blasting contractor will hold a public meeting with local residents to explain the proposed blasting program.
2. The blasting contractor will conduct a pre-inspection of existing structures within the defined limits of the blasting area. This inspection shall include documentation of the existing conditions.
3. Affected neighboring property owners will be notified 48-hours prior to commencement of blasting operations.
4. The blasting contractor will conduct a post-inspection of affected properties.
5. The developer and the blasting contractor will hold a follow up meeting with local residents. Notes from the meeting and the attendance list shall be submitted to the City Engineer and Community Development Director.
6. In order to minimize the need for rock crushing operations, the blasting techniques utilized shall be designed to pulverize the rock in-situ. In addition, the blasting techniques shall avoid surface ruptures and minimize the production of dust.
7. If necessary, temporary rock crushing operations may be conducted during the mass grading operation in order to render excavated materials suitable for use as fill within the project site. However any rock crushing must be located a minimum 1000 feet from the nearest residence (e.g., in Planning Area 2), and screened by either topography or other noise barrier to the satisfaction of the Community Development Director.

J. SIGNAGE

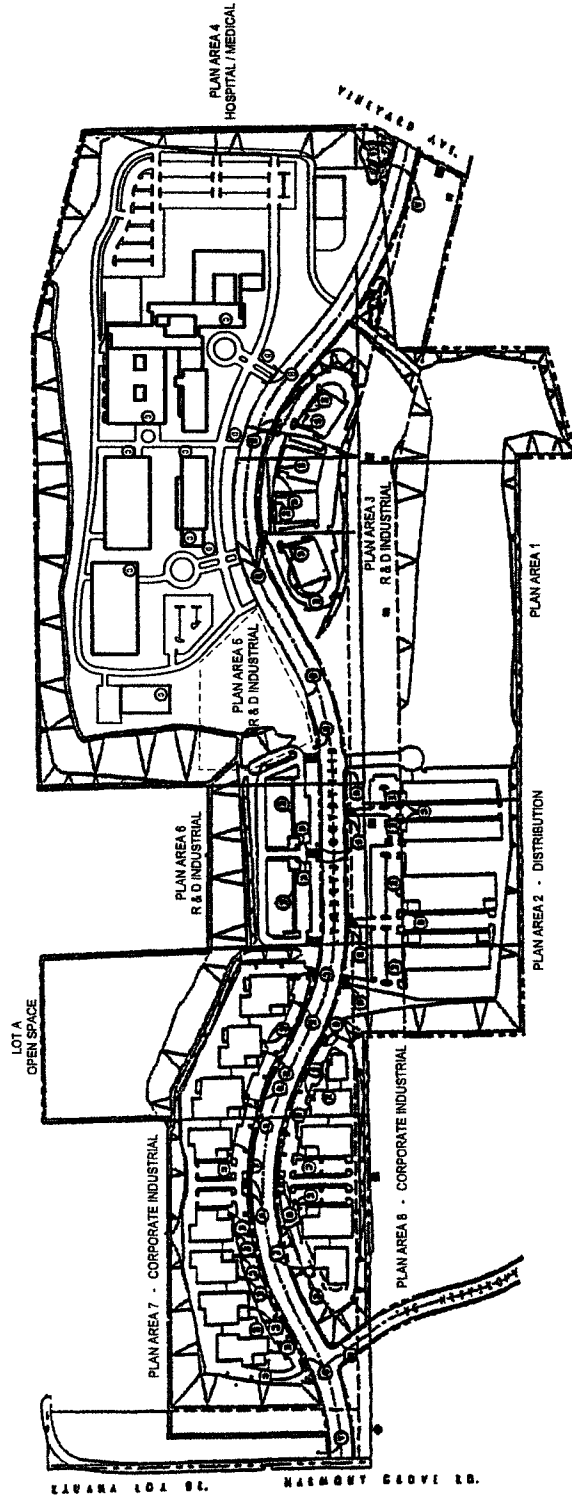
1. Objectives

Signage is an integral part of the specific plan which contributes significantly to both the functional and aesthetic viability of the development. At a project-wide policy level, signs are intended to perform three major objectives:

- To clearly and attractively identify the various businesses within the development.
- To clearly and efficiently direct consumers/visitors to, through and from the development.
- To complement and support the comprehensive design theme established for the specific plan.

This section of the specific plan is intended to provide a complete guide to provision of signing,

Exhibit 31 MASTER SIGN PLAN



SOURCE DATA

| NO. | DESCRIPTION | DATE | BY |
|-----|--------------------------------------|----------|------|
| 1 | EXISTING SITE PLAN | 11/17/94 | J.P. |
| 2 | EXISTING PLAN APPROVALS | | |
| 3 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 4 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 5 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 6 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 7 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 8 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 9 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 10 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 11 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 12 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 13 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 14 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 15 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 16 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 17 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 18 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 19 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |
| 20 | EXISTING SIGNAGE AND SIGNAGE PERMITS | | |



MASTER SITE PLAN

ESCONDIDO RESEARCH & TECHNOLOGY CENTER

McArdle Associates Architects
6999 B Camino Real #100-072
La Jolla, California 92037 760-517773

and applies to all signing within the plan area. The sign regulations identified in this Specific Plan are specific to the Escondido Research and Technology Center site, and are intended to supercede the regulations indicated in the City of Escondido Sign Ordinance.

Included in this section of the specific plan are general provisions for signing, construction requirements and a detailed description of sign types, including sizes. These subsections should be used to specifically understand the allowed signing for the specific plan and will be used as the test for sign permit issuance by the City of Escondido.

2. General Provisions

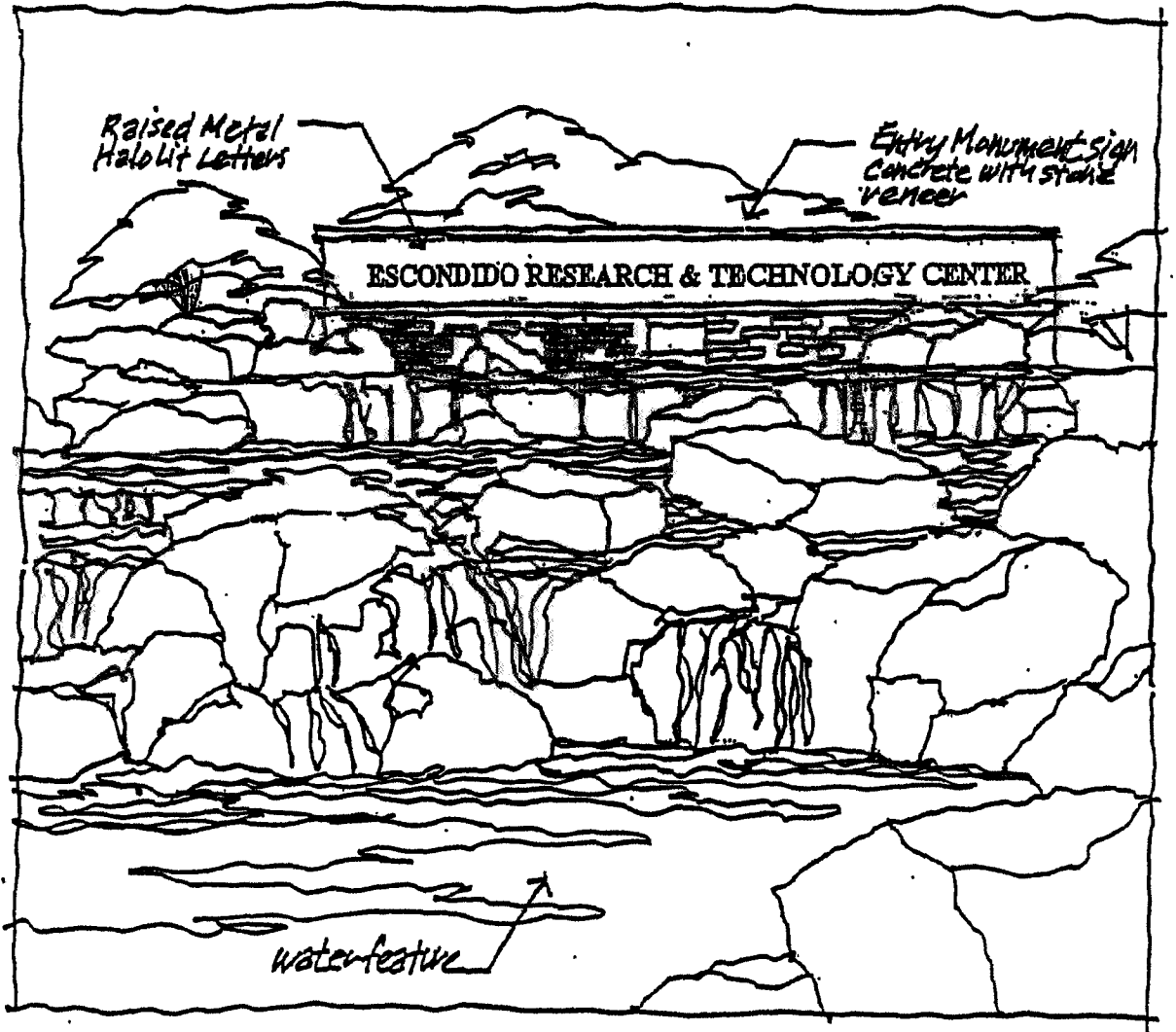
- a. The signage applicant and the City of Escondido shall refer to this specific plan to determine sign types allowed for specific uses throughout the Escondido Research and Technology Center. Due to the public nature of the hospital and medical related uses, the signage in Planning Area 4 may differ from other ERTC Signs. A Master Sign Program for Planning Area 4 shall be submitted for review and approval by the Community Development Director or designee.
- b. Sign locations shall be as approved by the City of Escondido, in conformance with this specific plan.
- c. Signage shall be permitted only as expressly allowed by these criteria.
- d. All signs and their installation must comply with all local building and electrical codes.
- e. Signs shall be of high graphic quality.
- f. Only those sign types described in these criteria will be allowed.
- g. Roof-mounted signs are not permitted.
- h. Animated, flashing or audible signs are not permitted.
- i. The area of a sign will be the actual area of the sign copy.
- j. Logo and letter heights, where specified, shall be determined by measuring the normal capital letter of a type font exclusive of swashes, ascenders and descenders.
- k. All signs shall fit comfortably into designated architectural spaces, leaving sufficient margins and negative space on all sides. Thickness, height, and color of sign lettering shall be visually balanced and in proportion to other signs on the building.

3. Construction Requirements

- a. Signs must be made of durable rust-inhibited materials that are appropriate and complimentary to the building.
- b. All formed metal, such as letter forms, shall be fabricated using full-weld construction.

- c. All ferrous and nonferrous metals shall be separated with nonconductive gaskets to prevent electrolysis. In addition to gaskets, stainless steel fasteners shall be used to secure ferrous to nonferrous metals.
 - d. Threaded rods or anchor bolts shall be used to mount sign letters which are pegged off the background panel. Angle clips attached to letter sides are not permitted.
 - e. Paint colors and finishes must comply with these criteria. Color coatings shall match the colors specified on the approved plans.
 - f. Surfaces with color mixes and hues prone to fading (e.g., pastels, fluorescents, complex mixtures, and intense reds, yellows, and purples) shall be of a color fast nature.
 - g. Joining of materials (e.g., seams) shall be finished in such a way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.
 - h. Finished surfaces of metal shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.
 - i. Reverse-channel letters shall be pinned between 1 and 3-inches off the building wall.
 - j. Depth of open-channel letters shall not exceed 3-inches.
 - k. Surface brightness of all illuminated materials shall be consistent in all letters and components of the sign. Light leaks must be eliminated.
 - l. All conduits, raceways, crossovers, wiring, ballast boxes, transformers, and other equipment necessary for sign connection shall be concealed.
 - m. Underwriter's Laboratory-approved labels shall be affixed to all electrical fixtures. Fabrication and installation of electrical signs shall comply with all national and local building and electrical codes.
 - n. Penetrations into building walls, where required, shall be made waterproof.
 - o. Location of all openings for conduit sleeves and support in sign panels and building walls shall be indicated by the sign contractor on drawings submitted to the City. The signage contractor shall install signs in accordance with the approved drawings.
 - p. Simulated materials such as wood-grained plastic laminate, etc. will not be allowed.
4. Sign Types
- a. Entry Monument Signs (Exhibit 32)

Exhibit 32
ENTRY MONUMENTATION



1. The Entry Monument Signs are intended to identify the Escondido Research and Technology Center. A maximum of four business park Entry Monument Signs may be permitted (two at each end of the project). These signs shall have a maximum height of 12-feet, measured from the highest point of the base to the highest point of the sign. The base element is limited to 3-foot above the highest grade surrounding the base. The finish materials of the base may include stone materials. The sign may be set into a landscaped area or water feature. No individual business name may appear on the Entry Monument Signs.

The Entry Monument Signs shall consist of a colored concrete type sign with stone veneer, including a sign area limitation of 200-square feet allowing for a business park logo and 24-inch high (maximum) backlit or externally illuminated letters.

b. Planning Area Monument Signs (Exhibit 33)

1. The Planning Area Monument Signs are intended to identify a maximum of four (4) of its major businesses. Two (2) Planning Area Monument Signs are allowed at the entry points for each planning area.
2. The Planning Area Monument Signs are to be constructed of colored concrete and stone veneer elements. These signs shall have a maximum height of 6 feet. The base element is limited to 24 inches above the highest grade surrounding the base. The finish materials of the base may include stone materials.
3. The Planning Area Monument Signs are intended to be part of an overall entry statement, including an extensive landscape statement around each sign.
4. A single Planning Area Monument Sign is allowed along each planning area's frontage on Citracado Parkway in lieu of one alongside a driveway. The sign may be set parallel or perpendicular to Citracado Parkway. Perpendicular-set signs may be double-faced.
5. The sign can accommodate letters ranging from 6-inches up to 18-inches tall.
6. This sign type may include both backlit and external light sources and may include the logo and lettering identifying named businesses which can exceed no more than 30 square feet on anyone sign face.

c. Building Monument Sign

1. The Building Monument Sign is intended to identify a particular office building and its major tenants. The Building Monument Sign is designed to enhance the architectural design of the buildings.
2. A maximum of four Building Monument Signs are allowed within each Planning Area, but no more than one per building. These signs are not intended to be viewed from Citracado Parkway nor from other offsite areas. They are intended to provide the visitor motorist with information on the list of businesses within each building.

3. The Building Monument Sign shall consist of a colored concrete type sign with stone veneer, including a sign area limitation of 40-square feet allowing a 12-inch high logo (maximum) and 12-inch high (maximum) backlit or externally illuminated letters identifying the name of the business(es) of the building. These signs shall have a maximum height of 4 feet. This sign type is to be placed in a landscaped area.
 4. If a sign of this type is single-faced, it can accommodate up to four individual business names with letters ranging from a minimum of 6-inches tall to a maximum of 18-inches tall. Sign type may include both backlit and external light sources.
- d. Building Identification Signs (Exhibits 34 and 35)
1. Building Identification Signs are intended to identify businesses within the particular building.
 2. Six Building Identification Signs are allowed per building, however no more than two signs are allowed per single elevation.
 3. A typical Building Identification Sign shall consist of 24-inch high (maximum) letters and/or logo to be mounted to backlit or externally illuminated.
- e. Site Directional Signs (Exhibit 36)
1. The Site Directional Sign is intended to contribute to the overall design aesthetic and provide direction throughout the project.
 2. A maximum of two Site Directional Signs per curb cut is allowed.
 3. The Site Directional Signs may be double-faced, made of concrete with backlit or externally illuminated letters no larger than 8-inches in height and appropriately sized graphic logos. These signs shall be placed on either side of a curb cut in a landscaped area and shall have a maximum height of four feet. The text for these to general information such as "parking", "entry", "service", "deliveries", etc.
 4. Each Site Directional Sign consists of a sign base, a reveal and directional arrows.
- f. Construction Signage
1. Construction Signage is intended to be temporary in nature, and to inform the public of construction activities on the site.
 2. Construction Signage is limited to one sign per street per Planning Area along Citracado Parkway.
 3. Leasing Signage must be a professionally painted sign which may include specific information about the building, the developer, the leasing agent, square footage available and the occupancy date.

Exhibit 33
PLANNING AREA MONUMENT SIGNS

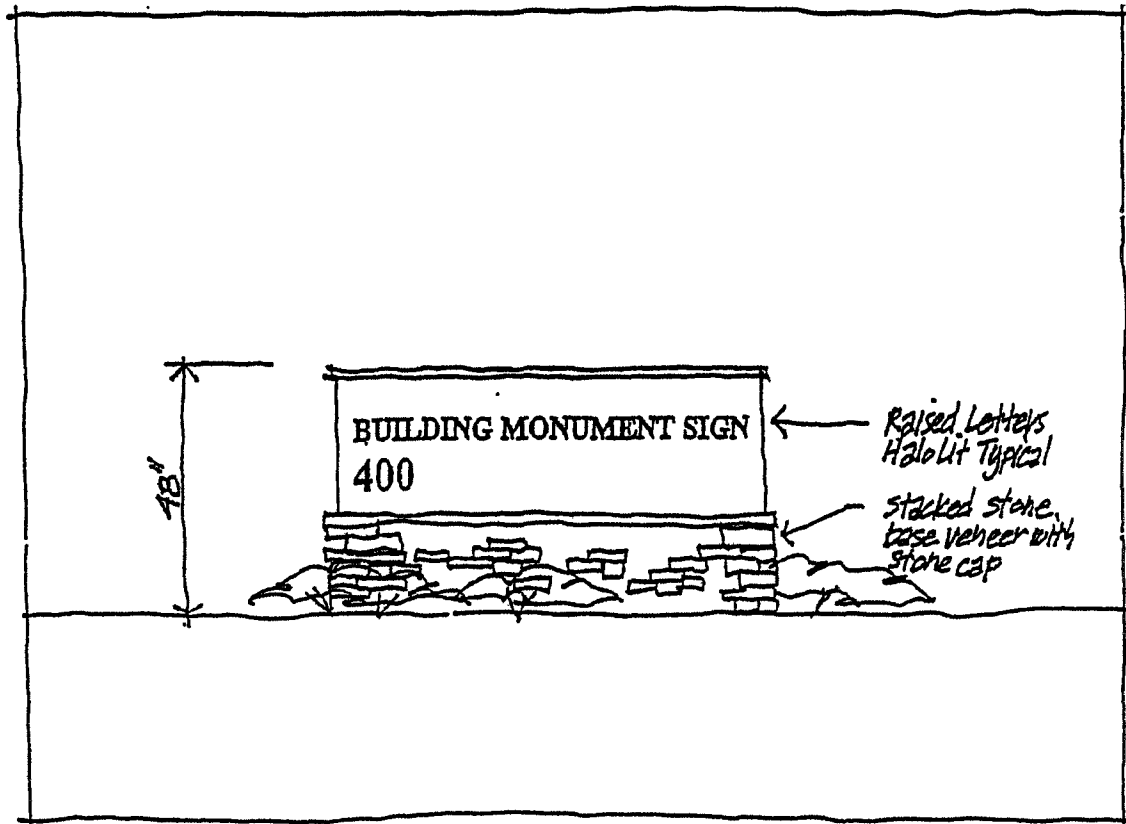
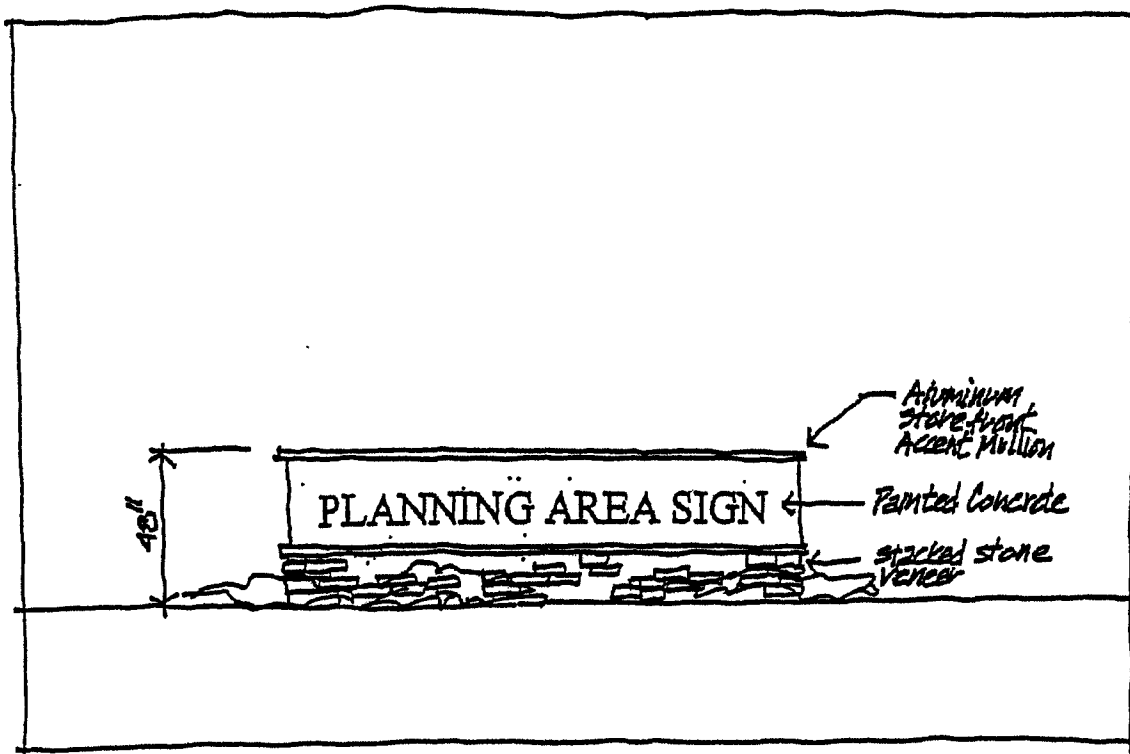


Exhibit 34
BUILDING IDENTIFICATION SIGNS

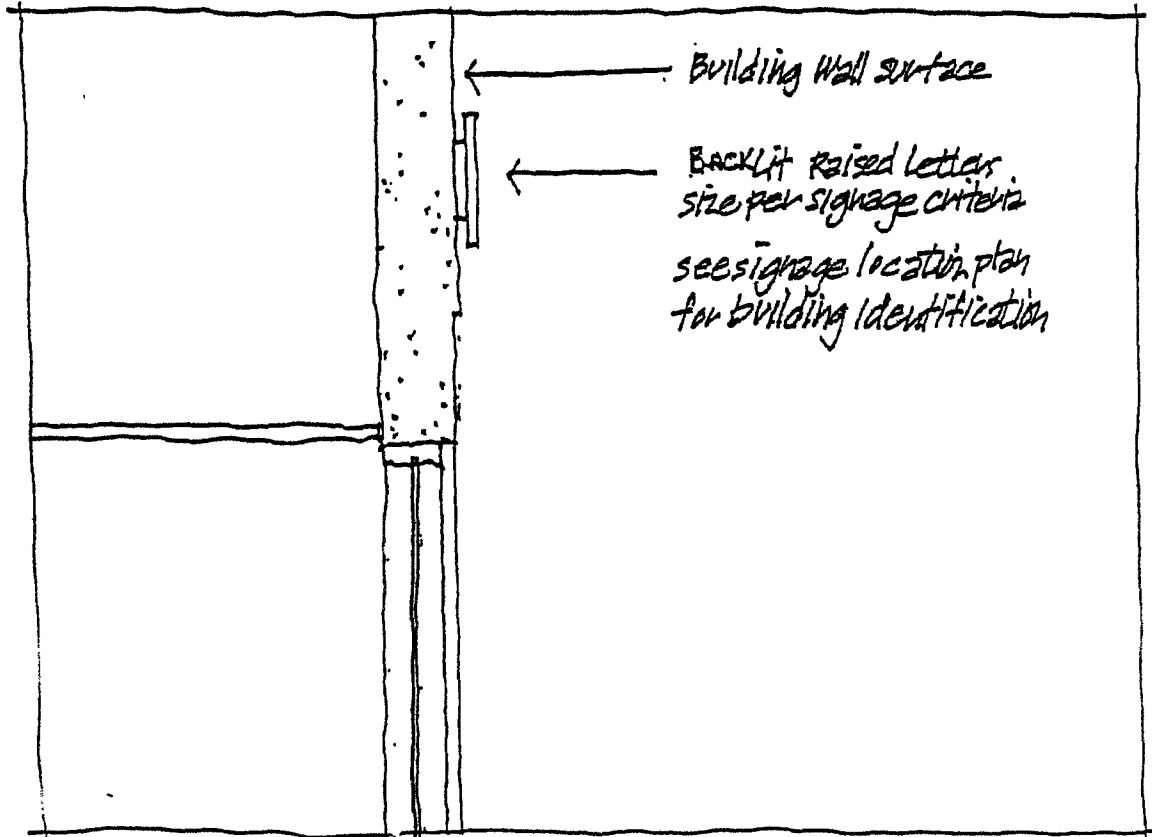
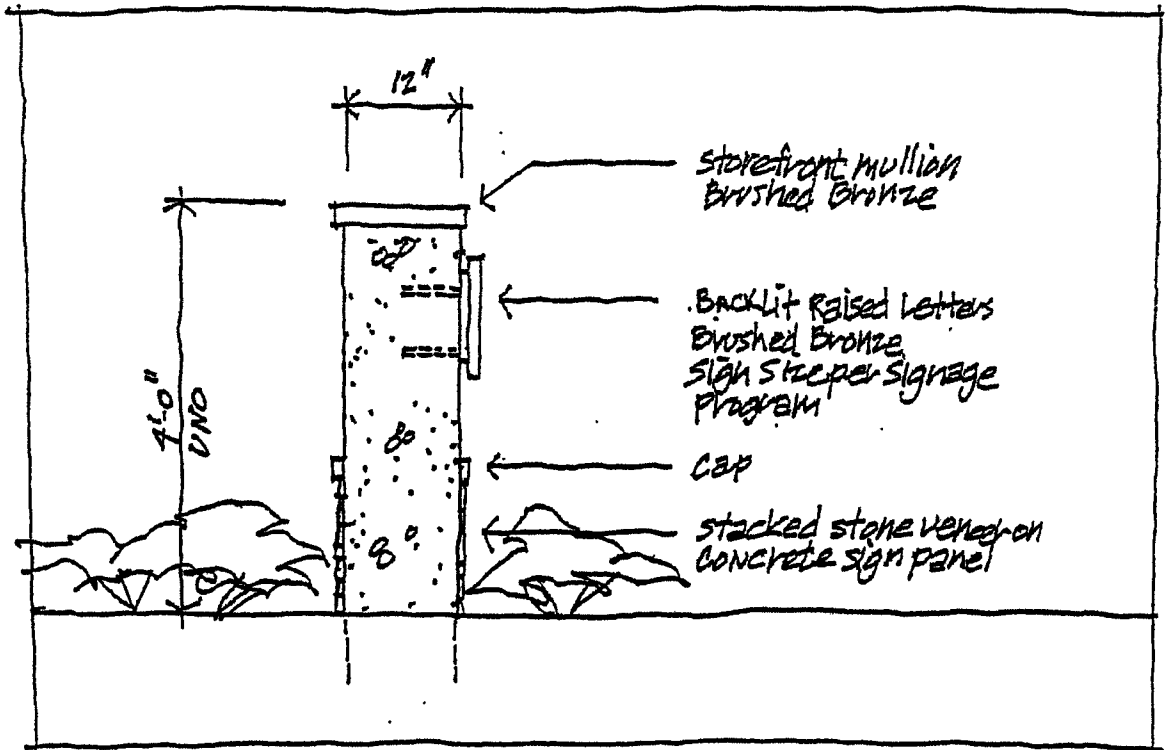


Exhibit 35
BUILDING IDENTIFICATION SIGN EXHIBIT

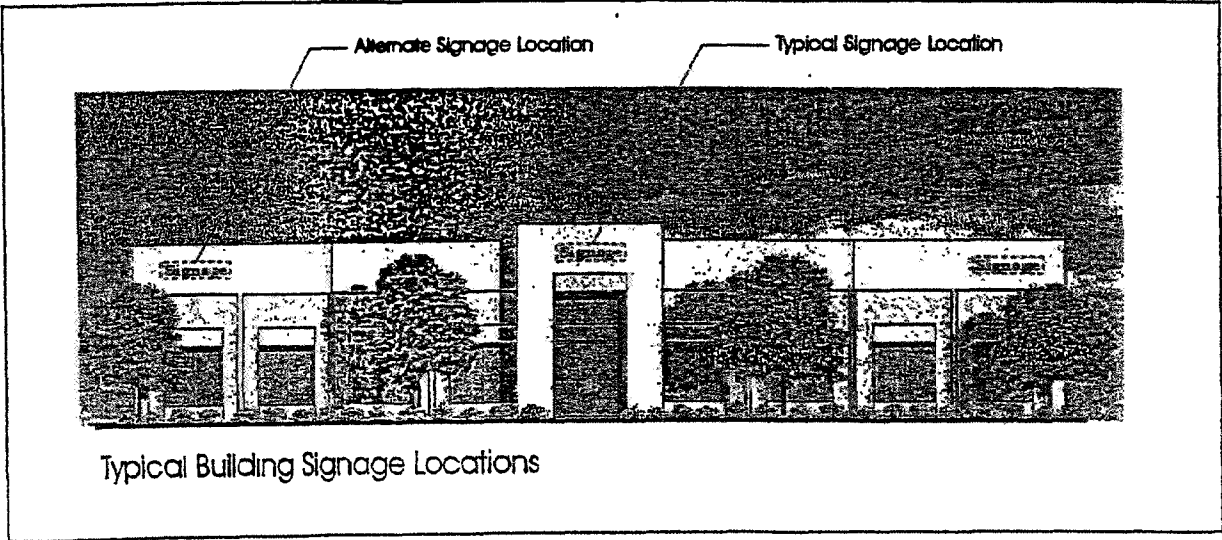
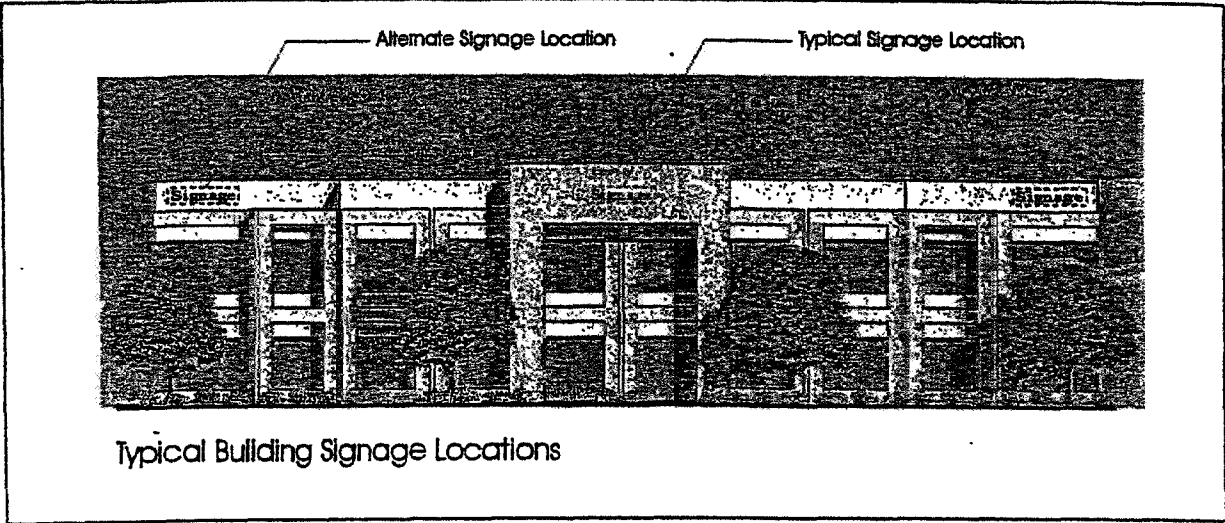
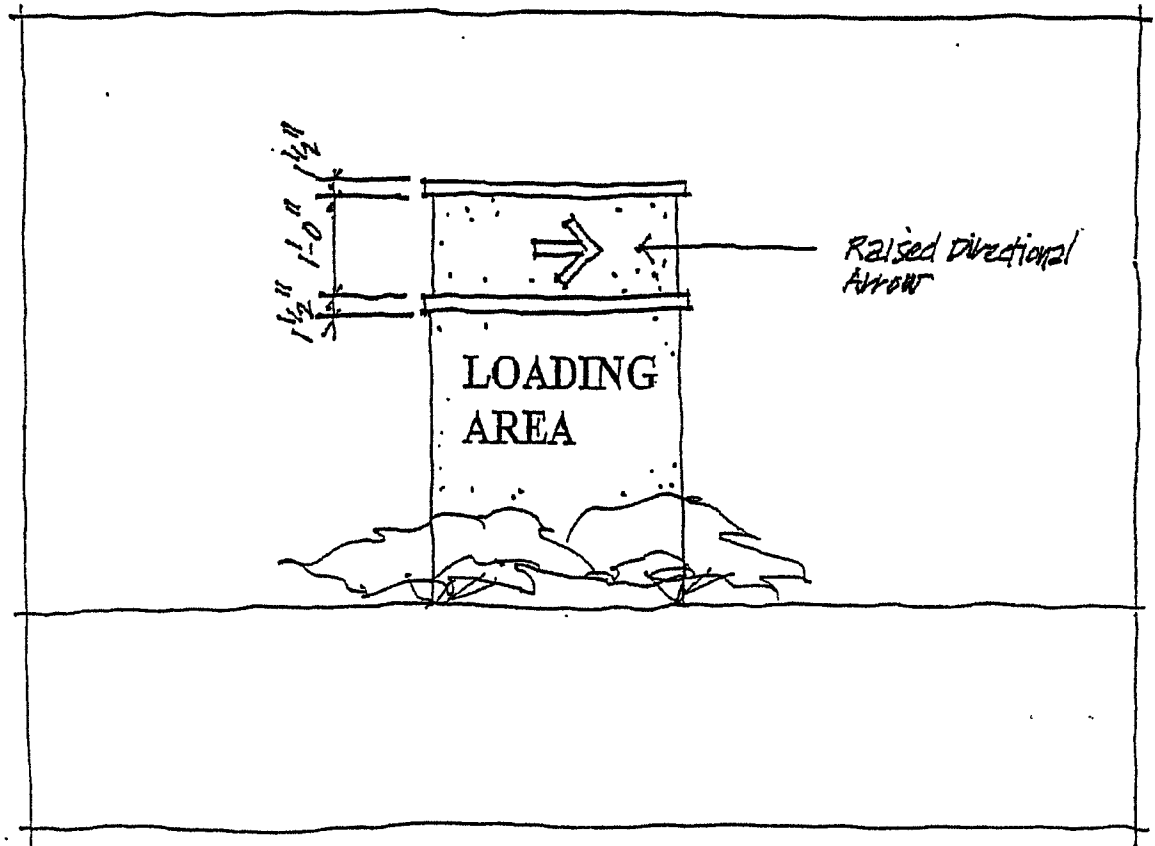
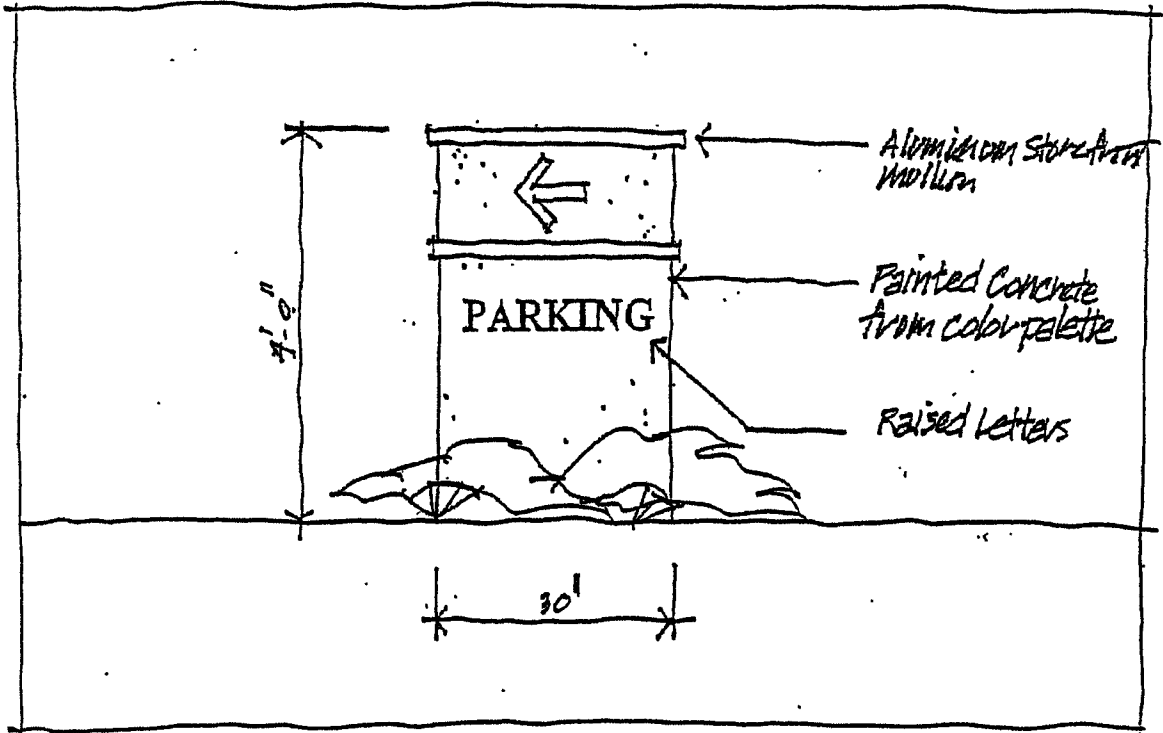


Exhibit 36
SITE DIRECTIONAL SIGNS



4. Leasing Signs displayed in windows shall not exceed 6 square feet per vacancy elevation.
5. After the initial leasing phase and during occasional vacancies, other Leasing Signs may be erected. This temporary signage may only display information about the square footage and dates available and the name and phone number of the leasing agent or agency. These signs must be freestanding and cannot exceed 6-feet in height and 15-square feet in area.

g. Special and Temporary Signage

1. Special and Temporary Signage is allowed in accordance with Article 66 of the Escondido Zoning Code, as it is intended to inform the general public of special events or activities available to them.
2. All Special and Temporary Signage must be of high quality and well maintained.
3. The display of flags is limited to not more than four per lot. No more than 100 SF may be displayed on any pole. Flagpoles and standards must be freestanding and adequately spaced to prevent flag entanglement.
4. An architectural banner program may be designed and maintained by the developer /landlord of Escondido Research and Technology Center.

K. LIGHTING STANDARDS

Exterior lighting plays an important role in the overall visual quality and safety of the project. Due to the public nature of the hospital and medical related uses, the lighting used in Planning Area 4 may differ from other ERTC lights. A lighting plan for Planning Area 4 shall be submitted for review and approval by the Community Development Director.

1. Objectives

- a. To reinforce identity and unity, all exterior lighting of similar uses is to be generally consistent in height, spacing, color and type of fixture throughout.
- b. To establish a consistent, interesting setting, which best displays the architectural and landscape designs.
- c. To design exterior lighting so that light spillage or light pollution is minimized through the location and intensity of lights and use of high cut-off luminaires.

2. Street Lighting

- a. All off-site and street lighting is to be coordinated throughout the Escondido Research and Technology Center project.

- b. All street lighting within the Escondido Research and Technology Center shall be installed with street improvements.

3. On-Site Lighting

To ensure consistency throughout the Escondido Research and Technology Center, on-site lighting shall conform to the lighting parameters which follow:

- a. On-site lighting includes lighting for parking areas, vehicular and pedestrian circulation, building exteriors, service areas, landscaping, security and special effects.
- b. Any outdoor lighting facility or fixture shall be shielded, be equipped with automatic timing devices and be limited to the amount of light necessary to illuminate the intended object or space.
- c. Lighting fixtures are to be of clean, contemporary, consistent design.
- d. The number of light poles shall be kept to a minimum by combining luminaries on a single pole and shall utilize zero cutoff luminaries. The light pole shall not be visible from offsite residential areas and in no event exceed a maximum of 50-feet in height in parking areas.
- e. All poles shall be of a uniform height (by type) adjusted for flush or above-grade footings unless such heights are used in an overall design to create effect.

4. Vehicular Circulation and Parking Area Lighting

- a. Vehicular circulation and parking lot lighting shall consist of zero cut-off fixtures.
- b. Both luminaire and pole shall have the same color baked enamel finish.
- c. All sources in the project illuminated after 11:00 p.m. shall be low-pressure sodium or equivalent. All non-lps lighting shall be equipped with timers in accordance with Article 55 of the Escondido Zoning Code.

5. Pedestrian Circulation Lighting

- a. Walkways and building entries will be illuminated to provide for pedestrian orientation and to clearly identify a secure route between parking areas and points of entry to the building.
- b. Lighting may be subdued deluxe-white mercury, incandescent, or compact fluorescent sources providing the intensity levels conform with Article 55.

- c. Bollard lighting shall be zero cut-off fixtures mounted at a uniform height no more than 42-inches above the walkways.
- d. Step or bollard lighting may be used to clearly illuminate level changes and handrails for stairs and ramps.

6. Architectural and Accent Lighting

- a. Building and landscape lighting may be flood uplighting type, hidden from direct view and aimed at exterior building faces, trees, landscape features, etc. providing they conform with Article 55 of the City's Zoning Ordinance.
- b. Tree up-lighting techniques may be utilized if all other standards are met.
- c. No light source shall be obviously visible to passersby.

7. Service Area Lighting

- a. Service area lighting shall be contained within service yard boundaries.
- b. Wall mounted fixtures shall match wall color.
- c. Light spill outside the property boundaries shall be minimized.

8. Signage Lighting

- a. Where signage is externally illuminated the following guidelines shall apply:
 - Light source shall not be obviously visible to passersby.
 - Views of light fixtures shall be minimized.
- b. Illuminated signs shall not face any adjacent residential neighborhoods.

9. Energy Efficiency

- a. All lighting sources shall be energy-efficient type.
- b. All lamps shall be long-lasting type or 130V rated, as applicable.

10. Heliport Lighting (Planning Area 4 Only)

In addition to the lighting described above, the hospital and heliport uses in Planning Area 4 have specific lighting requirements, including perimeter lighting at the deck, a beacon, obstruction lights, and a lighted windcone. All of the heliport lighting shall be design in a manner to avoid unnecessary glare or spillover onto adjacent properties to the fullest extent possible.

L. ENVIRONMENTAL CONSIDERATIONS

All planning areas within the Escondido Research and Technology Center, including industrial uses, research and development uses, industrial support and service uses, and business and professional office uses, shall comply with the following environmental regulations:

- a. Uses within the Escondido Research and Technology Center shall not exceed allowable noise level limits set forth within the Escondido Municipal Code.
- b. Uses shall not produce vibration, heat, glare, or electrical disturbances beyond the boundaries of the site.
- c. Uses shall not produce air pollution detectable by the human senses without the aid of instruments, beyond the boundaries of the site.
- d. Uses shall not produce emissions which endanger human health, can cause damage to animals, vegetation, or property, or which can cause spilling at any point beyond the boundaries of the site.
- e. Uses shall not produce odor detectable by the human senses without the aid of instruments beyond the boundary of the site.
- f. All wastes discharged into the wastewater discharge system shall meet City standards.

In addition to the environmental considerations identified above, Planning Area 4 which includes hospital, medical related uses, heliport and ancillary support uses shall comply with the following environmental regulations:

- g. Medical wastes shall be stored and disposed in a manner consistent with existing regulations.
- h. Helicopter traffic shall arrive and depart the site consistent with the approved flight paths as determined by the Federal Aviation Administration, California Division of Aeronautics and the San Diego Regional Airport Authority.

M. TRASH ENCLOSURES

All trash enclosures shall be screened from view and housed in a block structure or concrete tilt-up, finished in a manner consistent with adjacent building architecture and materials. Incorporation of

trash enclosure form into the building mass composition is encouraged.

N. PUBLIC FACILITIES AND SERVICES

The following public facilities and services will be necessary to accommodate the development of the Escondido Research and Technology Center. Specific engineering requirements will be determined through the subdivision map process.

1. Fire Protection

The proposed Escondido Research and Technology Center is located in the City of Escondido Fire Department's District 6 jurisdiction. Primary response for the specific plan area would be provided by Engine Company 6, secondary response from Engine Company 1, and tertiary response from Truck Company 1. Paramedic service is provided through the Fire Department by contract with Medic One. The above response units are all housed at Fire Station #1, located at 310 North Quince Street. Response time for all units is within five (5) minutes.

2. Law Enforcement

The City of Escondido Police Department provides law enforcement services to the project. The Police Department Station is located at 700 West Grand Avenue, approximately two (2) -miles from the Escondido Research and Technology Center. The Police Department currently employs 157 officers and 19 community service officers. Typical day shifts provide for a minimum 15 patrol units, 4 traffic units, and 3 community service officers.

3. Sewer

Sewer services will be coordinated by the City of Escondido Sewer District, with treatment provided by the Hale Avenue Resource Recovery Treatment Facility in south Escondido. Existing facilities consist of a 8-inch PVC sewer line in Andreasen Street, and a 10-inch line in Vineyard Avenue, and an 8inch line in Enterprise Street.

Proposed improvements include an approximate 8-inch line located within Citracado Parkway, as required by the City Engineer.

4. Water and Reclaimed Water

The water agency serving the specific plan area is the Rincon del Diablo Municipal Water District. All water facilities will be constructed in accordance with the District's policies and regulations. Existing facilities consist of a double water line (10-inch and 24-inch ductile iron lines) in Andreasen Drive. Proposed improvements consist of an approximate 10inch trunk distribution line to be installed in Citracado Parkway, as required by the City Engineer.

Reclaimed water is available from the Hale Avenue Resource Recovery Facility (HARRF), located southeast of the specific plan area.

5. Drainage

On-site drainage facilities will be constructed in conjunction with the development of the Escondido Research and Technology Center. Major drainage is planned to the southwest through the existing drainage and to surface and/ or subsurface drainage structures along Citracado Parkway. Runoff water will be treated per the Regional Water Quality Control Board and the City of Escondido water standard regulations through a drainage control system, including drainage detention basins located on Planning Area 5, and also at the extreme southwest corner of the specific plan area.

6. Gas and Electric

San Diego Gas and Electric Company currently provides service to the Escondido Research and Technology Center area. SDG&E will be able to provide this service with underground facilities.

III. PLANNING AREA DEVELOPMENT STANDARDS AND REGULATIONS

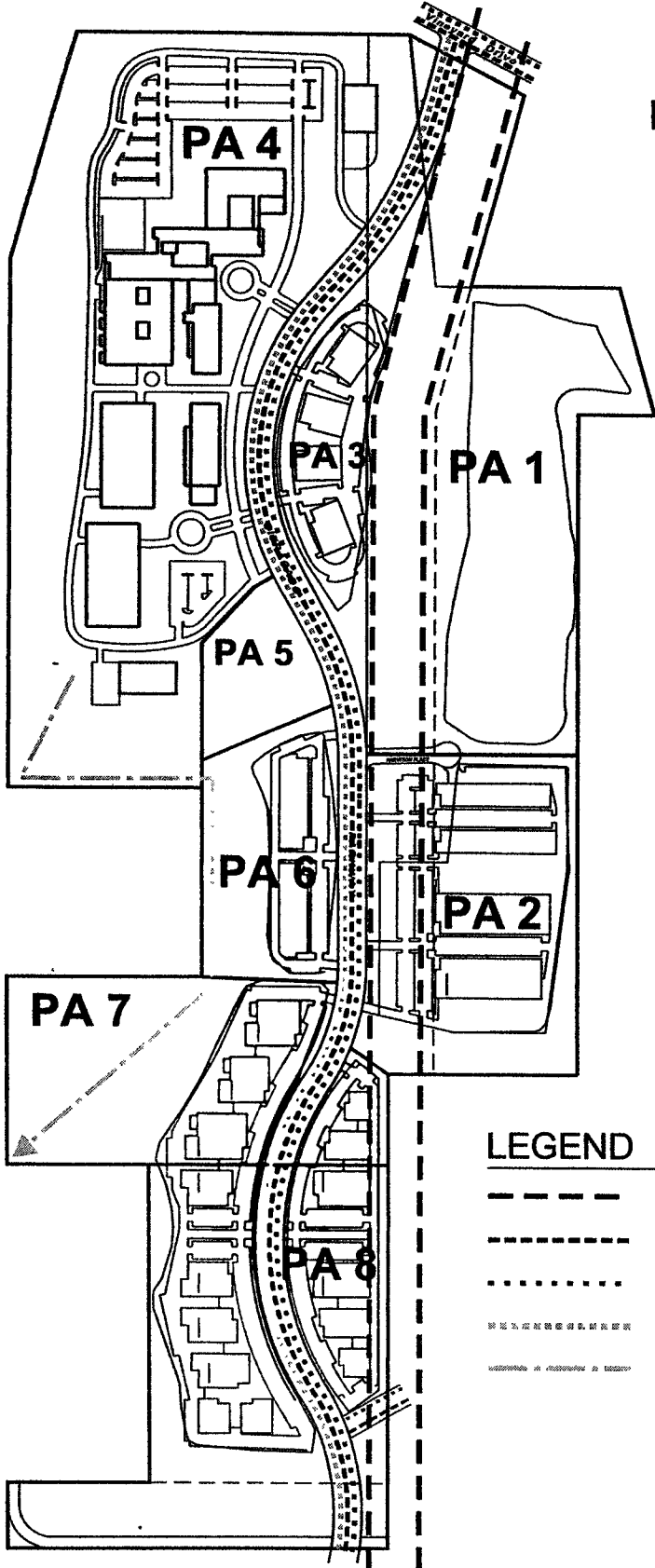
A. INTRODUCTION

The specific plan document is designed to function as a working land use regulatory document which is user oriented. It is intended to provide direction to the user ranging from a broad level of intent to specific "zoning" levels of implementation. In previous chapters a description of the more general aspects of the Escondido Research and Technology Center Specific Plan has been presented. Since the specific plan will be used over time to guide the continuing development of the project, it is necessary to create a mechanism which can address concepts and details. In Chapter III, previously presented objectives and policies are translated into use categories, design and development standards.

One of the fundamental goals of the specific plan is to create a regulatory framework which will accommodate a variety of commercial-type uses within a comprehensively planned geographic area. In this context, specific uses become less important than the plan through which they are reviewed. If the integrity of the plan is upheld, through a properly established regulatory document, then a range of use possibilities can be successfully achieved. Chapter III is intended to convey precise information to the user in terms of tangible development regulations.

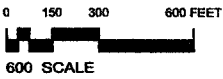
The purpose of Chapter III is to clearly show how a variety of uses must be located and designed to be consistent with community goals and specific plan intent. The specific plan is divided into eight Planning Areas, each with a description of use types and development standards. With the exception of signage and lighting standards, each Planning Area is intended to provide self-contained "zoning." Signage and lighting are regulated in relationship to use rather than a planning area location and, therefore, standards for these categories are found in Chapter II.

Exhibit 37
 MAJOR
 PUBLIC UTILITIES



LEGEND

- Electric Transmission Lines
- - - Sewer Trunk Line
- Water Trunk Line
- ○ ○ ○ ○ Reclaimed Water Line
- □ □ □ □ Drainage Facilities



B. ALLOWABLE USES

LAND USE MATRIX

| Use | PA1 | PA2 | PA3 | PA4 | PAS | PA6 | PA7 | PA8 |
|---|-----|-----|-----|----------|-----|-----|-----|-----|
| Administrative, business and professional offices, including but not limited to: Offices that are associated with any permitted planned industrial use, or offices that do not attract nor are primarily dependent upon business customers visiting the office. Permitted offices include, but are not limited to, corporate offices, regional offices, general offices, and professional offices as accountants, banks and financial institutions, medical and dental offices, employment agencies, real estate agencies attorneys, engineers, architects, and planners. | P | P | P | P | P | P | P | P |
| Assembly | P | P | | <u>P</u> | | | | |
| Construction industries and services such as general contractors, electrical contractors, plumbing contractors, etc. and their accessory and incidental office uses. | P | P | | | | | P | P |
| Data Processing | P | P | | | | P | P | P |
| Electrical Wholesale Houses | P | P | | | | | | |
| Experimental-type uses that are not addressed by code requirements or require special controls as determined by the Community Development Director. | C | C | C | C | C | C | C | C |
| Government Services/Facilities (other than offices) | P | P | | | | P | P | P |

| | | | | | | | | |
|--|----|---|----|----------|---|---|---|---|
| <ul style="list-style-type: none"> • Apparel and finish products from textile products; • Chemical and allied products; • Plastic and rubber products; • Stone, clay and glass products; • Fabricated metal products; • Professional, scientific, controlling, photographic and optical products or equipment; • Communication Facilities • Data Processing • Manufacturing | | | | | | | | |
| Distribution and/or storage or warehousing of products in conjunction with an associated permitted use. | P | P | P | P | P | P | P | P |
| Manufacturing and assembly (no specific limits providing all applicable design and performance standards are achieved) | P | P | P | P | P | P | P | P |
| Offices | P- | | PP | P | P | P | P | P |
| Professional offices | P | | PP | P | P | P | P | P |
| Services | P | | P | | | | | |
| Testing and repair of components and systems | P | | P | | | P | P | P |
| Radio/Transmission/Communication facilities | | P | P | <u>P</u> | P | | | |

| | | | | | | | | |
|--|---|---|---|---|---|---|---|---|
| <p>Open space conservation preserve for the oak woodland habitat in the northwest corner of the planning area.</p> | | | | | | | P | |
| <p>Public trailhead, informational kiosk and associated trail parking lot.</p> | | | | | | | P | |
| <p>Wireless communication facilities limited to stealth technology that is fully integrated into structures.</p> | P | P | P | P | P | P | P | P |
| <p>Wireless communication facilities other than those utilizing stealth technology that is fully integrated into structures.</p> | C | C | C | C | C | C | C | C |
| <p>Uses engaged primarily in research activities, including but not limited to: developmental laboratories, and compatible light manufacturing such as, but not limited to, the following:</p> <ul style="list-style-type: none"> • Biochemical; • Biotechnology; • Chemical; • Communications; • Computers; • Electronics; • Film and photography; • Medical and dental; • Metallurgy; • Pharmaceutical; • X-ray. | P | P | P | P | P | P | P | P |

| | | | | | | | | |
|---|--|--------------------------------------|------------------------------------|------------------------------------|------------------------------------|------------------------------------|------------------------------------|------------------------------------|
| Rear(must extend full width of the lot) | 15' | 15' | 10' | 10' | 10' | 10' | 10' | 10' |
| Landscape Standards | Min. 10% of site area ^{7,8,9} | Min. 10% of site area ^{8,9} | Min. 10% of site area ⁹ | Min. 10% of site area ⁹ | Min. 10% of site area ⁹ | Min. 10% of site area ⁹ | Min. 10% of site area ⁹ | Min. 10% of site area ⁹ |

1. No further subdivisions permitted under Alternative "B" Power Plant.
2. Parapets extended to form tower or signage elements, architectural monument and features, rooftop equipment and screening shall be allowed to extend 10' above the specified height limit.
3. Setback measured from back of Citracado Parkway right of way.
4. Except for Planning Area 4, the building setback from the western property line shall increase with the building height based on sight line analysis to substantially screen the buildings with manufactured landform, as viewed from the bottom (western edge) of the buffer area
5. Front yard areas shall bermed to the extent feasible to screen views of parked automobiles.
6. Driveways shall be located in the locations shown on the ERTC vesting tentative map or as otherwise approved by the City Engineer..
7. Reduced landscape coverage shall be permitted for Alternative "B" (Power Plant). All major PA 1 slopes shall be landscaped pursuant to the requirements of the ERTC vesting tentative map.
8. If improved or otherwise restored to natural upland habitat, the utility easement shall receive temporary irrigation, except near Vineyard A venue where entry monumentation and ornamental landscaping will occur.
9. Slopes may be counted towards required site landscaping.

1. Parking

a. Multiple Use.

Where two or more uses occupy a single planning area, the parking requirement shall be determined by calculating the requirement for each use individually based on its total leasable floor area. No change to a use requiring more parking will be allowed unless the additional parking for the new use is provided.

b. Compact Spaces.

Up to 35% of the total parking spaces in all Planning Areas except PA1 and PA2 may be compact spaces. Compact spaces must be a minimum width of eight and one-half (8.5) feet, and a minimum length of sixteen (16) feet; provided however that the minimum length may be reduced to fifteen and one half feet if a one and one-half foot "overhang" area is provided. Aisles and spaces for compact car spaces are clearly marked with permanent material denoting "Compact Car Only";

c. Reciprocal Parking.

Reciprocal parking and access between individual lots and Planning Areas may be permitted

pursuant to the CC&R's providing sufficient parking exists for each affected use and such parking is within 300' of the property line. Applicants shall demonstrate to the satisfaction of the Community Development Director that the reciprocal parking and access is in effect on the subject properties.

2. Outdoor Storage

Outdoor Storage Restriction. All permitted uses except parking, loading and storage shall be conducted entirely within completely enclosed buildings in all Planning Areas except PA1 and P A 2 where such storage shall be permitted, provided however, screening from Citracado Parkway passers-by shall be utilized in minimizing view impacts. In order to avoid staging areas resembling outdoor storage, the loading and unloading of materials, inventory, or other products shall be completed in a single event.

3. Architecture

Design Detailing. Specific detailing, encouraged throughout the Planning Area, includes:

Accentuated thickness of freestanding walls and building penetrations, including door and window openings.

- a. Frameless window detailing where perimeter window frames are recessed into the exterior building material to give the appearance of a clean penetration through the exterior building material infilled with glass only.
- b. The creation of suspense and intrigue through layering of materials and color, penetrations of building elements and walls and through the introduction of accent colors on the inside edges of penetrations.

4. Lighting

All proposed lighting shall be in conformance with the requirements of Article 35 of the Escondido Zoning Code. Outdoor lighting used after 11:00 p.m. for security purposes to illuminate equipment yards, streets or roadways (public or private), parking lots, and similar facilities shall be illuminated by shielded low-pressure sodium lighting fixtures or their equivalent.

For Alternative B in Planning Area 1, the requirements of Chapter III shall be adapted to address design issues particular to a power generating facility. However, lighting for Alternative B shall be adapted to address design issues particular to a power generating facility.

5. Landscaping Requirements

- a. A minimum of 10% of the Planning Area shall be landscaped, including decorative hardscape.
- b. Boundary landscaping shall be planted and maintained along all property lines except for the area required for street access. The depth of the landscaping shall be a minimum of 15 feet along Citracado Parkway and 10-feet along other property lines. Driveways shall be located outside of required side yard landscape areas. All landscape planters shall be provided with permanent watering facilities. Landscaping shall not obstruct vehicular / pedestrian sight lines.
- c. One 15-gallon tree shall be planted per every 4 parking spaces within parking areas in accordance with Article 62 of the Escondido Zoning Code. Trees may be clustered or planted in a line, but need not be evenly spaced throughout the parking lot.
- d. Planters, architectural fences or walls (not utilized for loading area screening) shall not exceed 36 inches in height along Citracado Parkway or street side yards and 42 inches in height elsewhere on the site

6. Walls/Fencing

Any fencing utilized shall be screened from passers-by unless designed to be an extension of the building architecture.

For Alternative B in Planning Area I, the perimeter of the Planning Area shall be secured with aesthetic steel fencing. Access to the site(s) shall be restricted to specific entries, and gate-guarded entries are allowed. For Alternative A, any fencing between lots shall be vinyl-clad chain link security fencing. Regarding Alternative B, fencing internal to the site shall be galvanized steel chain link security fencing.

D. ADDITIONAL DEVELOPMENT STANDARDS FOR INDMDUAL PLANNING AREAS

1. Parking

a. Planning Area 1

Parking spaces for individual uses shall be provided pursuant to Article 39 of the Escondido Zoning Code based on gross floor area. For Alternative B, 2.0 spaces per 1,000 square feet of occupied gross floor area shall be provided.

b. Planning Area 2

Parking spaces shall be provided pursuant to Article 39 of the Escondido Zoning Code based on gross floor area.

c. Planning Areas 3, 4, and 5

Parking spaces shall be provided at the following ratios.

Research and Development. 2.5 spaces per 1,000 square feet of gross floor area.

Industrial. 2.4 spaces per 1,000 square feet of gross floor area.

Office. 3.3 spaces per 1,000 square feet of gross floor area.

Hospital and Medical Uses:

- Hospital Inpatient: 1.25 spaces per patient bed;
- Hospital Outpatient Facility: 5 spaces per 1,000 square-feet of gross floor area.
- Laboratory and Food Service: 1 space per 575 square-feet of gross floor area.
- Central Service Warehouse: 1 space per 800 square-feet.

d. Planning Areas 6, 7 and 8

Parking spaces shall be provided at the following ratios.

Research and Development. 2.4 spaces per 1,000 square feet of gross floor area.

Industrial. 2.2 spaces per 1,000 square feet of gross floor area.

Office. 3.3 spaces per 1,000 square feet of gross floor area.

2. Access

a. Planning Area 1

One location of primary private ingress and egress from Citracado Parkway may be paved to a minimum width of 30-foot apron with a 28-foot minimum driveway. A divider island may be provided to separate lanes. A second location of secondary, emergency ingress and egress from Citracado Parkway shall be paved to a minimum width of 22-foot apron with a 20-foot minimum driveway width.

b. Planning Area 2

Two locations of private ingress and egress from Citracado Parkway shall be paved to a

minimum width of 30-foot apron with a 28-foot minimum driveway. A divider island may be provided to separate lanes. An additional access from Enterprise Drive is allowed.

c. Planning Areas 3,4,5,6,7,8

Locations of private ingress and egress from Citracado Parkway shall be as shown on the ERTC vesting tentative map (or as specifically approved by the City Engineer), and paved to a minimum width of 30-foot apron with a 28 foot minimum driveway. A divider island may be provided to separate lanes. The location of private driveways for Planning Area 4 may be adjusted subject to approval of the City Engineer.

3. Architectural Standards

a. Planning Area 1

For Alternative A, planning and design shall conform to the Comprehensive Policies and Design Guidelines set forth in Chapter II of this specific plan.

For Alternative B, the design of the power generating facility equipment structures, by virtue of their relatively small area coverage and isolated position within the overall plan, can support more varied and functional architecture. The side of the operations building which is nearest to and facing the site perimeter shall conform to the Comprehensive Policies and Design Guidelines set forth in Chapter IT of this specific plan.

4. Landscaping

a. Planning Areas 4, 5 and 6

1. Entry monumentation and landscaping will be most prominent on the northeastern corner outside the limit of Planning Area 4. A large scale water feature will be linked and integrated into the entry monument. Due to the public nature of Planning Area 4, the entry monumentation and landscaping may differentiate itself as a unique but cohesive parcel in the ERTC.
2. The western edge of Planning Areas 4, 5 and 6 will serve as a residential area buffer, by restoring the manufactured slopes to drought tolerant vegetation. The minimum buffer width is 160 feet. The crest of the buffer area shall be a minimum 10feet higher than the Planning Area pad elevation. The vegetation will receive permanent irrigation, so that screening tree vigor and health is permanently maintained.
3. A 12-foot wide pedestrian/equestrian trail will meander along the western edge of the planning area, intersecting Citracado Parkway, near the project entry monumentation.

IV. PLAN CONFORMANCE WITH STATE LAW AND CITY GENERAL PLAN

This section of the Escondido Research and Technology Center Specific Plan addresses the conformity of this document with the state enabling legislation for specific plans (Government Code Section 65450 Et. Seq.) and the City of Escondido General Plan.

The Escondido Research and Technology Center (ERTC) Specific Plan is consistent with enabling legislation found in the California Government Code and to the goals, policies, and objectives of the Escondido General Plan. Three distinct references to General Plan requirements are compared for conformance in the following analysis: 1) State Planning Law requirements; 2) City of Escondido General Plan - Land Use Element, Industrial section and the General Implementation Techniques section; and 3) the "Harmony Grove Specific Planning Area" designation and text description, found in the Land Use Element text. The amendment of the General Plan and concurrent amendment of the Escondido Research and Technology Center Specific Plan to allow for hospital and medical campus uses establishes consistency and plan conformance.

A. CONFORMANCE WITH STATE GOVERNMENT CODE 65450 ET. SEQ.

Section 65451 of the Government Code defines the minimum contents of a Specific Plan. The following is a list of the items required to be considered in a Specific Plan and how the ERTC Specific Plan responds to the requirements.

| State Law Requirements | Specific Plan Conformance |
|--|--|
| 1. "The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan." | The Escondido Research and Technology Center Specific Plan map and text define the location and acreage of uses within its boundaries, including open space areas. |
| 2. "The proposed distribution, location, and extent and intensity of major components of public and private transportation sewerage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located in the area covered by the Plan and needed to support the land uses described in the Plan." | Through the planning process, no public facility services necessary to serve the Escondido Research and Technology Center have been identified. The Final Environmental Impact Report will identify public facility needs for the project. |
| 3. "Standards and criteria by which development will proceed, and standards for the conservation, development, utilization of natural resources, where applicable." | Development standards and design criteria for the Escondido Research and Technology Center Specific Plan are identified in Chapter III of this Specific Plan. |

B. CITY OF ESCONDIDO LAND USE ELEMENT, INDUSTRIAL LAND USE

There are five Industrial policies contained within the Land Use Element, as follows:

| Industrial Policies | Specific Plan Conformance |
|--|---|
| 1. Concentrate industry in specific areas rather than scattered around the planning area. Encourage well-designed industrial development for this area. | The Escondido Research and Technology Center Specific Plan adjoins an existing industrial park on the east side of the boundaries of the project. The development standards adopted in this Specific Plan will result in well-designed and coordinated industrial development. |
| 2. The danger of pollution to the environment being recognized and acknowledged, for example, by the City's Hazardous Waste Ordinance, industries requiring large quantities of water or industries creating noxious or nuisance conditions shall be prohibited. | The Escondido Research and Technology Center Specific Plan recognizes the need to regulate and minimize noxious and/or nuisance conditions within industrial areas or uses that require large quantities of water. These types of uses will be controlled by City, State, and Federal regulations concerning hazardous materials. |
| 3. Locate industrial areas (especially freight terminals) close to freeway and thoroughfare interchanges to minimize heavy industrial traffic through urbanized areas. Access points to sites will be designed to minimize interruption of traffic flow on street, freeways and interchanges, and shall be attractively designed and landscaped. | The Escondido Research and Technology Center business park is located immediately adjacent to an existing industrial area and will have access to major freeways (Interstate 15 and SR 78) through Citracado Parkway, which bisects the site. |
| 4. Provisions shall be adopted by the City to require that industrial development be appropriately screened and landscaped to achieve an attractive and desirable industrial area. | Detailed screening and landscaping guidelines are described in Chapter III. Conformance to these guidelines will promote the development of an attractive and desirable industrial area. |

| Industrial Policies | Specific Plan Conformance |
|--|--|
| 5. Permit industrial development and related land uses through Specific Plans pursuant to Government Code Section 65450 and consistent with the Property Suitability Criteria and the mandatory Specific Plan requirement enumerated in the "General Implementation Techniques" section of the implementation chapter of the Land Use Element. | This Specific Plan fulfills the intent of this policy. |

C. CITY OF ESCONDIDO LAND USE ELEMENT PROPERTY SUITABILITY CRITERIA

The Property Suitability Criteria portion of the Implementation Section of the City of Escondido Land Use Element states that property suitable for land planning and zoning pursuant to a Specific Plan are those areas that meet the five criteria listed.

| Property Suitability Criteria | Specific Plan Conformance |
|--|---|
| a. The property is sufficiently large so as to take advantage of transfers of densities where appropriate, thereby preserving significant open space areas within the Specific Plan area. | The Escondido Research and Technology Center is approximately 186 acres in size and therefore complies with this criteria. |
| b. The property has unique physical characteristics such as uneven terrain or hillside areas that, without a Specific Plan, would effectively preclude development pursuant to existing land use designations and zoning ordinances. | The Escondido Research and Technology Center property contains uneven terrain and hillsides. |
| c. The area is of sufficient size that it lends itself to a comprehensive site design utilizing a combination of attractive landscaping and open space amenities. | The Escondido Research and Technology Center is approximately 186 acres in size, and efficiently lends itself to a comprehensive planning approach. |

| Property Suitability Criteria | Specific Plan Conformance |
|--|--|
| d. The nature of the project is sufficiently long-term that it lends itself to development phasing which can be effectively monitored and controlled by the Specific Plan. | The Escondido Research and Technology Center is of such size and scale that it will be developed over several years. |
| e. The applicants have sufficient financial resources to perform the requisite studies and to satisfy the mandatory Specific Plan requirements. | The applicants comply with this criteria. |

D. MANDATORY SPECIFIC PLAN REQUIREMENTS

The City of Escondido General Plan states that no Specific Plan shall be adopted by the City Council until the Council has reviewed the proposed plan for compliance with the following requirements which are in addition to the requirements imposed by State Law (Government Code Section 65451 et seq.).

| General Plan Policies | Specific Plan Conformance |
|--|---|
| a. Residential, industrial and commercial structures built within the Specific Plan area shall be constructed under rigorous quality control programs and safeguards (e.g. appropriate restrictive covenants running with the land). | The Project Development Standards for the Escondido Research and Technology Center Specific Plan identified in Chapters III and IV of this Specific Plan controls eventual land development by imposing development guidelines, landscape screening, and, grading requirements that will generate a quality development within the Escondido Research and Technology Center Specific Plan area. |
| b. Appropriate protection against soil erosion, particularly where hillside development is involved, shall be assured. | The project will conform to the Escondido Grading Ordinance and all other necessary City regulations relating to soil erosion. |
| c. Assurances shall be provided that any hillside grading will be minimized or appropriately landscaped so that visible scarring will be mitigated to the extent feasible. | The project Development Standards sections of the Escondido Research and Technology Center Specific Plan Text provides landscape screening to mitigate visible scarring. |

| General Plan Policies | Specific Plan Conformance |
|---|--|
| d. All open space areas shall be identified and the appropriate measures taken to preserve them. | In those cases where there are open space areas or corridors, the Specific Plan requires easements, dedication, or other measures to preserve them. |
| e. Design criteria, design regulations, and building standards, Shall be provided sufficient to ensure that residential, industrial, and commercial structures are compatible with the surrounding environment. | Project Development Standards have been developed (see Chapter III) for industrial and commercial structures in the project area to ensure compatibility with the surrounding environment and residential neighborhoods to the west and north. |
| f. Adequate assurance shall be provided that the circulation and access needs of the project residents and the surrounding community are properly addressed. | Citracado Parkway will provide access and circulation for the industrial community and segregation of traffic from residential areas. |
| g. Appropriate arrangement to ensure that public facilities and services adequate to serve the project residents are available shall be described. | All arrangements and public facilities and services are defined in both the Specific Plan and supporting Environmental Impact Report. |

E. HARMONY GROVE SPECIFIC PLANNING AREA

The "Harmony Grove Specific Planning Area" designation of the Escondido General Plan has specific guidelines, goals, and policies that relate to preparation and adoption of this Specific Plan. The following discussion, describes how the Specific Plan will meet the established criteria.

| SPA Policies | Specific Plan Conformance |
|---|---|
| 1. The Specific Plan shall include a program to ensure that industrial uses are adequately screened from existing residential uses through the use of existing and constructed slopes and ridges in conjunction with treed landscape buffer zones. Specific criteria and standards will be developed to ensure land use compatibility with surrounding land uses, particularly the semi-rural residential uses to the west. | The Specific Plan includes criteria and standards for slope, ridge and landscape screening for most of the western and southern ridge lines. There are areas in the southwest portion of the project that extend into the viewshed of the residential areas; however, these interface areas will incorporate extensive setbacks, and will also include landscaping and architectural design controls. |

| SPA Policies | Specific Plan Conformance |
|--|--|
| <p>2. Industrial land uses shall be located in the flatter areas of the Specific Planning Area; grading for industrial uses shall be minimized. The Specific Plan text shall include criteria and standards for proposed grading to avoid adverse visual impacts.</p> | <p>Criteria and standards for grading to avoid adverse visual impacts are found in the Project Development Standards section (see Chapter ill) of the Specific Plan including standards of the "Hillside Development" section of the City's Grading Ordinance. The cumulative effect of standards for grading, screening, landscaping and land use will accomplish this objective.</p> |
| <p>3. The drainage area running north and south through the center of the Specific Planning Area represents a desirable visual amenity. The Specific Plan shall include provisions for the enhancement of this riparian area and incorporating this resource into the ultimate development plans.</p> | <p>Much of the riparian area from this drainage will be retained and enhanced. The ravine north of the riparian area shall be retained or mitigation will be provided in terms of grove-like landscaping on the slopes west of the ravine and additional specimen trees throughout building sites on which the ravine is located.</p> |
| <p>4. A high quality industrial park setting is anticipated in this area. The Specific Plan shall include a program for encouraging attractive structures, and landscape features, as well as establishing permitted industrial uses. General guidance for these development standards may be similar to and derived from the I-P (Industrial Park) zone.</p> | <p>The Plan Description Section (see Chapter ill) of the Specific Plan details extensive design and landscape requirements that would be imposed to ensure a high quality industrial park setting.</p> |
| <p>5. Extensive public improvements are required for the development of this Specific Planning Area. The Specific Plan shall include a comprehensive analysis and phasing program for the following public facilities: 1) Streets, particularly those designated on the Circulation Element; 2) Sewer and water facilities, as projected by the City's Master Plan or any amendment thereof; and 3) Drainage facilities.</p> | <p>The Environmental Impact Report includes an analysis of the project's impacts on all of the public facilities mentioned in this policy. The details of the improvements necessary for drainage, sewer and water facilities will be addressed when a tentative map is submitted. The details for street improvements are addressed in the Specific Plan.</p> |

| SPA Policies | Specific Plan Conformance |
|---|--|
| 6. The benefit of a Specific Plan is that major development issues can be addressed and resolved on a comprehensive basis, rather than incrementally. The Specific Plan map and text shall be prepared incorporating the above concerns, prior to submission of development plan for any portion of the Specific Planning Area. | The Specific Plan Map and Text have been prepared on a comprehensive basis addressing all of these concerns. A demonstration of this can be seen in the Project Development Standards and Implementation Sections (see Chapters III and IV). Site specific environmental studies have been performed as part of the Specific Plan preparation process. |

V. PLAN IMPLEMENTATION AND DEVELOPMENT PROCESSING

The Escondido Research and Technology Center Specific Plan creates the regulatory processing and implementation framework to allow a large planned industrial business park project and hospital /medical campus such the proposed project to develop. Development of the project will occur over a number of years and the life of the project will last well past completion of the last building. A number of documents are also in place in addition to the Escondido Research and Technology Center Specific Plan; they include the Environmental Impact Report, Development Agreements, and Vesting Tentative Subdivision Map. Together these documents will be used to review and approve development within the Escondido Research and Technology Center Specific Plan.

The developer of the Escondido Research and Technology Center or other property owners within the specific planning area may enter into a development agreement(s) or other public financing agreements with the City of Escondido and/ or Redevelopment Agency. State Government Code Sections 65864 through 65869.5 acts as the enabling legislation to allow municipalities to establish development agreements.

In evaluating an application for a Subdivision Map, Site Plan, or any other application for discretionary approval, the City shall determine if the potential environmental impacts of the proposed project are adequately addressed in the EIR except for Planning Area 4. If the potential environmental impacts are not so addressed in accordance with CEQA Guideline Section. 15168(c), the City shall proceed in accordance with CEQA Guideline Section 15162 as required to comply with CEQA. As determined by State law, Palomar Pomerado Health, a California Healthcare District, is the lead agency for the purpose of conducting environmental review for all district sponsored hospital/medical campus and related activities proposed within Planning Area 4.

The Community Development Director will review, or coordinate the review of development requests within the specific plan. Section 15 of Chapter V establishes a separate ministerial review procedure for implementing hospital/medical campus projects within Planning Area 4. The addition of this section does not modify, amend or in any way affect the entitlement process for the balance of the specific planning area.

The City's Design Review Board, except for Planning Area 4, may consider and approve, without additional public hearings changes to the Conceptual Master Plan as depicted in Exhibit 5 if the

determination is made that the proposal maintains the intent and integrity of the Escondido Research and Technology Center Specific Plan/Concept Master Site Plan. The Community Development Director may approve minor modifications to the approved development standards by up to 25% pursuant to the City's Administrative Adjustment procedure. Said minor adjustments shall require a notice of intended decision to property owners within 500' of the subject parcel. Appeals of the Community Development Director's intended decision may be made to the City's Planning Commission.

Changes in public improvements within the following categories, may be considered and approved by the Community Development Director with the additional consent of the City Engineer without additional review prior to building permit application, if it is determined that change is consistent with the intent and integrity of the Escondido Research and Technology Center Specific Plan/Concept Master Site Plan:

- Siting of public utilities / services, such as traffic signals, fire hydrants, curb cuts, and drainage improvements
- The internal specific plan circulation and access. The following sections describe the development review process in further detail.

A. SPECIFIC PLAN

This specific plan text establishes development standards for the Escondido Research and Technology Center (~~delete-business park~~) as a whole, and within each planning area. This specific plan consists of the Map and Summary, this text and related exhibits. The Map divides the approximately 186 acre project into eight individual Planning Areas. Each of the Planning Areas has been created in consideration of a number of factors including natural features, land use and circulation. The Planning Areas are described in detail in Chapter III of this text. A description of permitted uses, site development standards and special design criteria are provided for each Planning Area. Where there is a conflict between the regulations specified within the Escondido Research and Technology Center Specific Plan and existing City Ordinances, Policies and Procedures, the Specific Plan shall prevail. Otherwise, the City Ordinances, Policies and Procedures shall apply.

B. CONCEPT MASTER SITE PLAN

The specific plan establishes a Concept Master Site Plan process which provides more detailed information regarding the development of multiple parcels. A Concept Master Site Plan is shown on Exhibit 5 of this specific plan. The Concept Master Site Plan serves as the illustrative basis for the Community Development Director pursuant to the Site Plan Review (see item D, Site Plan Review), and will be kept on reproducible mylar by the Community Development Director. The Community Development Director, when reviewing a request for development within the specific plan, shall utilize the Concept Master Site Plan in conjunction with the specific plan and the EIR to determine the level of review appropriate, except for Planning Area 4, which is governed by Section 15 of this chapter. Information depicted for Planning Area 4 on the Concept Master Site Plan is only provided for purposes of illustration. Future submittals are not required to literally comply with this exhibit.

Through the Site Plan Approval process, the Community Development Director may determine that a particular development request is in substantial conformity with the Concept Master Site Plan and compliance with the specific plan and EIR for which a written notice of such determination can be made. The Community Development Director's criteria utilized for determining substantial conformity shall be based on compliance with permitted uses, required setbacks, conformity with design guidelines as determined by the City's Design Review Board, and other development standards identified in this specific plan, and that no condition, feature, facility or amenity is changed or deleted that had been considered essential to the project's design, quality, safety or function. Upon approval of the Site Plan Review by the Design Review Board and Community Director, the applicant may proceed directly to building permit application submission if a determination of substantial conformity is made. The Community Development Director may determine additional levels of review are necessary which can be in the form of a Specific Plan Amendment (SPA). In the case of a determination of conformance with the Concept Master Site Plan and consistency with the specific plan, no modification to the Concept Master Site Plan is required. However, if SPA modifications are given, the Concept Master Site Plan is required to be revised (on mylar) to reflect the revisions to the satisfaction of the Community Development Director prior to the first Certificate of Occupancy for development within said Master Site Plan.

C. TENTATIVE SUBDIVISION MAPS

The Planning Commission and City Council has reviewed the Vesting Tentative Subdivision Map or Tentative Subdivision Map for approval in accordance with the State Subdivision Map Act, the City of Escondido Subdivision Ordinance and this Specific Plan. Following recordation of the Final Subdivision Map(s), any further parcel maps and boundary adjustments may be processed subject to the approval of the Community Development Director with appeal rights to Planning Commission and City Council. New, or expanded exemptions from the City's Grading Ordinance as described in Section 33-1066 of the City's Zoning Code shall require a public hearing before the Planning Commission.

D. SITE PLAN REVIEW

1. Purpose and Intent of the Site Plan Review

The Site Plan Review (SPR) process shall provide a means of consistency review, pursuant to the objectives, guidelines and standards of the Escondido Research and Technology Center Specific Plan, of proposed developments within the geographic boundaries of the specific plan.

2. Requirement for a Site Plan Review (SPR)

The Escondido Research and Technology Center Specific Plan is an integral part of a number of regulatory and "entitlement" documents. These combined documents establish certain

individual development approvals, which without additional review, allow for building permit application. An SPR shall be required for all additional structural development within the specific plan.

3. Request for Presubmittal Meeting

To initiate the SPR process, the applicant must request a presubmittal meeting with the Community Development Director or his representative to discuss the proposal. Within ten days of receipt of this request, the Community Development Director shall conduct a presubmittal meeting with the applicant.

4. Presubmittal Meeting with Community Development Director

The applicant shall meet with Community Development Director or his representative staff to discuss the proposed development, in order to obtain direction in processing requirements subject to the specific plan document prior to submittal. This meeting is intended to assist the applicant in understanding the provisions of the specific plan and how those provisions may affect the proposed development.

5. Community Development Director Determination

The Community Development Director shall promptly determine the necessary level of review and notify the applicant. The Community Development Director shall address processing procedures, submittal requirements, and establish processing timeframes. If the Community Development Director determines that the proposed development substantially conforms with this specific plan, the applicant may proceed under the Site Plan Review Process established by this document.

6. Official Submittal for Site Plan Review

The applicant shall submit all required documents, plans, fees, applications, environmental assessments and support documents in accordance with the provisions of the SPR process concurrently.

7. Site Plan Review Submittal Requirements

- a. Application for a SPR may be made by the record owner or owners of the property on which the development is proposed. The application shall be filed with the Community Development Director upon forms provided by the City and shall fully state the circumstances and conditions relied upon as grounds for the application.
- b. The boundaries of each Site Plan shall be precisely determined through boundary adjustments, lot lines created by subdivision maps, or other methods acceptable to the

City.

- c. Site Plans shall include the location of buildings, their size and height, and specific use, and all other information necessary to meet the requirements of Chapters II and III of the Specific Plan.
- d. Building elevations of all four elevations shall accompany Site Plans.
- e. Site Plans shall include building layout, parking, roadway and landscaping areas.
- f. Landscaping Plans shall accompany the Site Plan.
- g. A signage plan, including location, size, height and nature of all signage shall be included with the Site Plan.
- h. A preliminary grading plan shall be submitted with the Site Plan.

8. Site Plan Review Process

Within 10-days of the official submittal of a Site Plan application, the Community Development Director shall determine if the application is considered complete. A letter shall be promptly provided to the applicant stating the application is either complete or listing the deficiencies which are required to complete the application.

9. Environmental Review

Environmental Review of a Site Plan, Site Development Plan, or Site Plan Amendment application shall be conducted in accordance with CEQA Guideline Section 15168.

10. Community Development Director Considerations

The two major areas of review by the Community Development Director will be environmental impacts and the proposal's consistency with the objectives, guidelines and standards of the specific plan.

11. Approval

After the SPR submittal has gone through a detailed review by City staff, the project will be approved, approved with conditions, or disapproved. The applicant will then be notified by mail. The approval notification will reflect conditions or revisions (if any) that will be necessary. At the time of approval notification, the Community Development Director shall also file a Notice of Determination (NOD) consistent with CEQA. Written notification of final approval shall be made available to the applicant by the Community Development

Director at the close of the 1a-day appeal period (see Item 13) in the absence of appeal. Approvals shall be valid for two years from receipt of official notification. An extension for an additional year may be granted by the Community Development Director, provided the request is made within the last 90-days prior to expiration.

12. Disapproval

If the Community Development Director disapproves the proposed development, the Community Development Director shall prepare a letter that will reflect the reasons for the decision. The applicant will be notified by mail of the Community Development Director's decision. In the event the SPR process results in disapproval, it will be the responsibility of the applicant to schedule a meeting with the Planning staff to resolve the deficiencies in the disapproved plan.

A disapproved plan may be resubmitted after revisions are incorporated and corrections made to all deficient items. A detailed review will again take place and a final approval or disapproval will be mailed to the applicant.

13. Appeal

The action of the Community Development Director in granting an approval of the Site Plan Review shall be final and conclusive unless, within 1a-days, an appeal for reviewing is filed with the Community Development Director. If such a request is filed, the Planning Commission will administratively review the submittal, and the applicant of the protest of record will be notified of the time and place for that review. The decision resulting from this review shall be final.

14. Final Approval

Prior to issuance of a final Site Plan Review approval, a copy of the plans and required attachments must be submitted to the Community Development Director for verification that conditions and revisions have been made as required. Upon verification, all final submittals may be made to the Community Development Director. The Community Development Director or his /her representative will notify the applicant of permit issuance. .

Any future alteration, addition or new construction on the exterior of building(s) not indicated by the approved Site Plan Review documents is prohibited, and requires re-initiation of the Site Plan Review process.

Building plans pursuant to the approved Site Plan Review documents may be submitted for approval after the Community Development Director or his/her representative has issued the final approval, or the final 7 -day period has elapsed.

15. Ministerial Review Procedure (Planning Area 4)

State law provides numerous regulatory requirements for the development of hospitals that are different from the other uses permitted within the ERTC Specific Plan. The proposed development of Planning Area 4 as a hospital/medical campus by Palomar Pomerado Health warrants the establishment of a separate review procedure from the balance of ERTC.

Ministerial review of proposed hospital/medical campus projects in Planning Area 4 will require the City of Escondido to administratively evaluate if a submitted project is in conformity with applicable standards of the Specific Plan rather than exercising discretionary judgment to approve, approve with conditions or deny a project.

Implementation for a hospital/medical campus shall be as follows:

Administrative Review of Site Plans

Submittal Requirements

- a. An Application for a Site Plan Review may be made by the record owner or owners of the property on which the development is proposed. The application shall be filed with the Community Development Director upon forms provided by the City and shall fully state the circumstances and conditions relied upon as grounds for the application.
- b. The boundaries of each Site Plan shall be precisely determined through boundary adjustments, lot lines created by subdivision maps, or other methods acceptable to the City.
- c. Site Plans shall include the location of buildings, their size and height, and specific use, and all other necessary information to determine conformity with the Specific Plan
- d. Building elevations of all four elevations shall accompany Site Plans.
- e. Site Plans shall include building layout, parking, roadway and landscaping areas.
- f. Landscaping Plans shall accompany the Site Plan.
- g. A signage plan, including location, size, height and nature of all signage shall be included with the Site Plan.
- h. A preliminary grading plan shall be submitted with the Site Plan.

Site Plan Review Procedure

Within 10-days of the official submittal of a Site Plan application, the Community Development

Director shall provide a letter to the applicant stating the submittal is either complete or listing the deficiencies which are required to complete the submittal.

Upon receipt of a complete submittal, the Community Development Director shall review the proposal to determine if the site plan and accompanying exhibits substantially comply with the following standards:

- Land Use Matrix (Section B- Allowable Uses),
- Development Standards for Individual Planning Areas (Section C) and
- Additional Development Standards for Individual Planning Areas (Section 1-Parking and Section 2-Access Only).

Within 60 days of having a complete application, the Community Development Director shall issue a letter indicating if the proposal complies with the designated sections of the Specific Plan. If the project meets or exceeds these requirements, a letter of compliance shall be issued including a Notice To Proceed accompanied by plans stamped approved. The decision of the Community Development Director to issue the letter shall be final and conclusive. The Notice to Proceed shall be valid for four years from the date of issuance.

Subsequent to the Community Director's issuance of the Notice to Proceed, the City's Design Review Board, acting in an advisory capacity, may provide comments with respect to aesthetic considerations. Aesthetic considerations, for purposes of this section, are defined as building architecture (excluding height/massing/site planning), signage, lighting and landscaping.

If the Community Development Director concludes the proposal does not substantially conform to the specific requirements of this plan, a letter shall be sent to the applicant indicating the reasons for this conclusion. The applicant may re-submit with a revised request or file an appeal. The applicant shall have the sole right to an appeal the decision of the Community Development Director. An appeal shall be forwarded directly to the City Council and placed on an agenda within two weeks, unless the applicant requests additional time.

State law establishes the responsibility for issuing building permits with either the California Office of Statewide Health Planning and Development (OSHPD) or the City of Escondido depending on the use. The timing for plan check submittal to OSHPD or the City will be at the discretion of the applicant.

CEQA Compliance

In accordance with the California State Government Code, Palomar Pomerado Health, a California Healthcare District, shall be the lead agency for implementing the California Environmental Quality Act. If the proposed ministerial project is determined by the District to be consistent with the EIR addendum approved for the Specific Plan Amendment for Planning Area 4, no further environmental review is required for the ministerial review of a site plan

E. EIR MONITORING PROGRAM

The Public Resources Code, Section 21081.6 requires public agencies to adopt a reporting or monitoring program to ensure that mitigation measures adopted pursuant to CEQA are implemented. Prior to issuance of a Certificate of Occupancy for buildings within an individual site development plan area, the City, or its designated representative, shall confirm that the mitigation measures from the EIR have been implemented. Palomar Pomerado Health, rather than the City of Escondido, shall fulfill this responsibility for all projects with Planning Area 4.

VI. AMENDMENTS TO THE SPECIFIC PLAN

This specific plan establishes the objectives, policies and standards to be applied within the Escondido Research and Technology Center Specific Plan area. It is anticipated that amendments to the specific plan may be requested during the life of the project.

Since the specific plan is founded on the provisions of the City of Escondido General Plan, its intent and general development concepts are not expected to change, unless the City of Escondido elects to modify the broad concepts of the applicable general plan provisions. Once the specific plan documents are approved, it is unlikely that a significant reversal of land use direction will occur.

A. CRITERIA FOR AMENDMENT REVIEW

Because the specific plan follows and refines general plan intent, the primary basis for reviewing and evaluating changes to the specific plan document is the specific plan's objectives, policies and introductory sections of the development standards sections. Judgment must be made by the Community Development Director regarding a particular project as to its effect on the purpose (as interpreted based on the identified sections) of the specific plan.

B. SPECIFIC PLAN CONFORMANCE

Upon submittal of an application, the Community Development Director shall determine if a project conforms to the Escondido Research and Technology Center Specific Plan. The decision on compliance shall be promptly provided in writing to the applicant.

Conformance shall be defined as consistency with the overall purpose of the specific plan as set forth through the objectives, policies and introductory descriptions in the development standards section of the Escondido Research and Technology Center Specific Plan. The following requests shall be considered to conform to the adopted specific plan and not require a specific plan amendment.

1. Expansions or reductions of any Planning Area acreages up to 15% in area (except for Planning Areas 4 and 5 which may be combined into a single large planning area) and provided that open space buffer areas are not negatively impacted.
2. Transfer of permitted building square footage within this specific plan is allowed, provided the transfer complies with all development standards and regulations required in any given planning area.
3. Realignment or modifications of internal streets servicing the project are allowed if also approved by the City Engineer.
4. Modifications of design features such as paving treatments, lighting, entry treatments, signage, architecture and landscape elements may also be considered to be consistent with the specific plan.

C. AMENDMENT PROCESS

If it is determined by the Community Development Director that an amendment to the specific plan is necessary, based on a review of all applicable documents, a formal application shall be required. The application shall contain those descriptive items deemed necessary by the Community Development Director based on the nature and magnitude of the request. In general, changes to uses and development standards, or changes to geographic boundaries shall be required to submit a Specific Plan Amendment. Action on the request, accompanied by an analysis and recommendation by the Community Development Director, shall be taken by the Planning Commission and City Council at a duly noticed public hearing. The determination of the City Council to approve or deny the request shall be final.

In the event the amendment request is approved, the applicant is required to make all appropriate modifications to all "of record" affected regulatory documents, as determined by the Community Development Director.